

Exhibit A



Department of Consumer and Regulatory Affairs

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. (202) 442 - 4589

Fax (202) 442 - 4862



B

BUILDING PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

Issue Date: 02/12/2015

PERMIT NO. B1504361

Expiration Date: 02/12/2016

Address of Project: 452 NEWTON PL NW	Zone: R-4	Ward: 1	Square: 3036	Suffix:	Lot: 0089
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Description Of Work:
Interior Renovation of existing structure. Including electrical, mechanical, plumbing, fixtures, finishes, and fittings.

Permission Is Hereby Granted To: Estella M Rosales	Owner Address: 452 NEWTON PL NW WASHINGTON, DC 20010-1716	PERMIT FEE: \$853.05
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Permit Type: Alteration and Repair	Existing Use: Single Family Dwelling - R-3	Proposed Use: Single Family	Plans: Yes
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Agent Name: Sheba Major Smk & Associates Llc,	Agent Address: 1766 Florida Ave, Nw 20009	Existing Dwell Units: 1	Proposed Dwell Units: 1	No. of Stories: 2	Floor(s) Involved: All
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Conditions/ Restrictions:

All construction done according to the current building codes and zoning regulations. Approved as per plans. Interior Work Only – Non Structural Demo Only. Separate electric, plumbing & mechanical installation permits are required. Demo or repair of roof, floor joists, inside steps and any other load bearing structural is not permitted under this permit. This permit allows for renovation of basement / cellar to be used as recreation room, study or storage. No kitchen allowed (stove) in the basement/ cellar. Use of land / house to remain as a single family dwelling, two units nor requested or approved on alteration permit. Kitchen & Bathroom to have GFIC at every 2 feet. All receptacles shall be AFCI type per NEC.

This Permit Expires if no Construction is Started Within 1 Year or if the Inspection is Over 1 Year.

All Construction Done According To The Current Building Codes And Zoning Regulations;
As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund must be made within six months of the date appearing on this permit.

Lead Paint Abatement
Whenever any such work related to this Permit could result in the disturbance of lead based paint, the permit holder shall abide by all applicable paint activities provisions of the 'Lead Hazard Prevention and Elimination Act of 2008' and the EPA 'Lead Renovation, Repair and Painting rule' regarding lead-based include adherence to lead-safe work practices. For more information, go to <http://ddoe.dc.gov>, Lead and Healthy Housing.

Interim Director: Melinda Bolling	Permit Clerk: Virender Bhogal
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TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1639
FOR CONSTRUCTION INSPECTION INQUIRIES CALL (202) 442-9557
TO SCHEDULE INSPECTIONS PLEASE CALL (202) 442-9557.

Exhibit B

AFFIDAVIT OF SERHAT AKIN

I, Serhat Akin, am of sound mind and over the age of 18 years.

1. I am authorized by the Applicant to provide the statements in this Affidavit on its behalf.
2. 425 Newton Place, NW (the "Subject Property") was purchased on July 31, 2014 with the intent to convert it to at least three (3) residential units.
3. The original building permit, B1504361, misstates that the approved plans were for renovations to an existing single-family dwelling.
4. The building was already configured as a flat when it was purchased in 2014 and was never used as a single-family dwelling.
5. The plans submitted to obtain B1504361 were plans for a three-unit building.
6. The three-unit plans submitted to obtain the second building permit, B1500315, were the same plans associated with the original building permit.
7. The Applicant obtained minor flexibility approval from the Zoning Administrator and a building permit from DCRA in order to do the proposed 3-unit conversion (the "Project"). DCRA later determined that it had issued the permit in error and moved to revoke the permit via a Stop Work Order in December 2015.
8. At the time the Stop Work Order was issued, the Project was 99% complete.
9. The lower two units were combined into one large unit. That unit was put on the market two separate times between February 2016 and September 2016 but never received an offer.

AFFIANT:

By: 

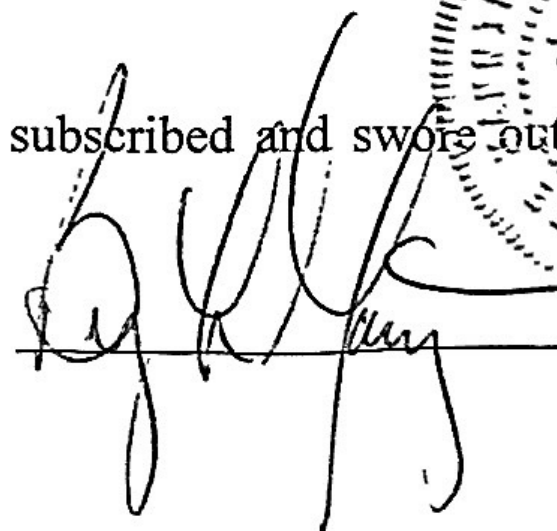
Name: Serhat Akin

Title:

BRYAN LEE MANNING
NOTARY PUBLIC STATE OF MARYLAND
My Commission Expires March 31, 2021

DISTRICT OF COLUMBIA)

Serhat Akin personally appeared/or is personally known to me, subscribed and swore out the testimony in this Affidavit to me on September 11, 2018.





Notary Public
(SEAL)

My Commission expires: _____

Notary Registration No. _____
BRYAN LEE MANNING
NOTARY PUBLIC STATE OF MARYLAND
My Commission Expires March 31, 2021

AFFIDAVIT OF BRYAN MANNING

I, Bryan Manning, am of sound mind and over the age of 18 years.

- 1 I am authorized by the Applicant to provide the statements in this Affidavit on its behalf.
- 2 425 Newton Place, NW (the "Subject Property") was purchased on July 31, 2014 with the intent to convert it to at least three (3) residential units.
- 3 The original building permit, B1504361, misstates that the approved plans were for renovations to an existing single-family dwelling.
- 4 The building was already configured as a flat when it was purchased in 2014 and was never used as a single-family dwelling.
- 5 The plans submitted to obtain B1504361 were plans for a three-unit building.
- 6 The three-unit plans submitted to obtain the second building permit, B1500315, were the same plans associated with the original building permit.
- 7 The Applicant obtained minor flexibility approval from the Zoning Administrator and a building permit from DCRA in order to do the proposed 3-unit conversion (the "Project"). DCRA later determined that it had issued the permit in error and moved to revoke the permit via a Stop Work Order in December 2015.
- 8 At the time the Stop Work Order was issued, the Project was 99% complete.
- 9 The lower two units were combined into one large unit. That unit was put on the market two separate times between February 2016 and September 2016 but never received an offer.

AFFLIANT:

By: 
Name: Bryan Manning
Title:

SERHAT AKIN
Notary Public
Howard County, Maryland
My Commission Expires 4/11/2021



DISTRICT OF COLUMBIA)

Bryan Manning personally appeared/or is personally known to me, subscribed and swore out the testimony in this Affidavit to me on September 17, 2018.

SERHAT AKIN
Notary Public
Howard County, Maryland
My Commission Expires 4/11/2021

SERHAT AKIN
Notary Public
Howard County, Maryland
My Commission Expires 4/11/2021

Notary Public
(SEAL)

My Commission expires: _____
Notary Registration No. _____

SERHAT AKIN
Notary Public
Howard County, Maryland
My Commission Expires 4/11/2021

SERHAT AKIN
Notary Public
Howard County, Maryland
My Commission Expires 4/11/2021

Exhibit C



KC Price <kc@kdcstudios.com>

452 Newton Place, NW

LeGrant, Matt (DCRA) <matthew.legrant@dc.gov>
To: KC Price <kc@kdcstudios.com>

Mon, Apr 6, 2015 at 5:32 PM

KC Price-

After reviewing your email and attachments asking for minor flexibility under 11 DCMR 407.1 for a lot that is 2,660 SqFt which is 40 SqFt less than the normal standard of 2,700 SqFt necessary for a three unit apartment building, based on the 900 square feet per dwelling unit standard, I will grant the request as this would constitute a 1.5% deviation of the lot size requirement, which is within the flexibility that can be granted. Based on the information you provided I agree that this is unlikely to adversely affect adjacent properties, and all other zoning requirements will be met by the proposed plans.

Please let me know if you have any further questions.

Best Regards,

Matthew Le Grant

Zoning Administrator

Dept of Consumer and Regulatory Affairs

Government of the District of Columbia

1100 4th St SW - Room 3100

Washington, DC 20024

Phone: 202 442-4652

Email: matt.legrant@dc.gov

Web: <http://dcra.dc.gov/service/zoning-dcra>

DCRA/OFFICE OF THE ZONING
ADMINISTRATOR/COMPLIES
WITH THE REQUIREMENTS OF
DC ZONING REGULATIONS (11 DCMR)

J 8/3/15

~~These drawings have been reviewed for code
compliance with the applicable provisions of
the construction codes and are approved.
This approval is subject to the final inspection.~~

Structural

Framing

8-3-15

Exhibit D

GOVERNMENT OF THE DISTRICT OF COLUMBIA
Board of Zoning Adjustment



Appeal No. 18991 of John Stokes, pursuant to 11 DCMR §§ 3100 and 3101, from a decision of the Zoning Administrator (“ZA”), Department of Consumer and Regulatory Affairs (“DCRA”), made December 31, 2014, to issue Building Permit B1503050 (“the permit”), allowing an addition to a one-family dwelling located at 1521 Varnum Street, N.W., and the conversion of the dwelling to a seven-unit apartment building in the R-4 District (Square 2698, Lot 817).

HEARING DATES: May 5, 2015, June 30, 2015, and September 15, 2015
DECISION DATE: September 29, 2015

ORDER DENYING APPEAL

This appeal was submitted to the Board of Zoning Adjustment (“Board”) by John Stokes. Mr. Stokes (the “Appellant”) challenged the decision of the ZA to approve an addition to an existing one-family dwelling in the R-4 zone, thereby allowing the conversion of the dwelling to a seven-unit apartment house. The Appellant claims that the permit was unlawful for several reasons, the primary one being that the ZA erred in his determination to allow a minor deviation from the lot area requirements under § 407.1 of the Zoning Regulations. Following a public hearing during which the Board considered all of the grounds alleged by the Appellant, the Board voted to deny the appeal.

PRELIMINARY MATTERS

Notice of Public Hearing

The Office of Zoning scheduled a hearing on May 5, 2015. In accordance with 11 DCMR §§ 3112.13 and 3112.14, the Office of Zoning mailed notice of the hearing to the Appellant, to Advisory Neighborhood Commission (“ANC”) 4C, to DCRA, and to the owner of the subject property, Varnum Holdings LLC (the “Owner”).

Parties

Appellant

The Appellant in this case is John Stokes. Mr. Stokes resides at 1519 Varnum Street, N.W., adjacent to the subject property.

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DCRA

The Appellee, DCRA, is the agency of the government of the District of Columbia that is authorized, among other things, to issue building permits. DCRA was represented by its Office of the General Counsel, Maximilian Tondro, Esq. The Zoning Division of DCRA is headed by the Zoning Administrator (“ZA”), Matthew LeGrant, and is charged with administering the Zoning Regulations. Mr. LeGrant testified at the public hearing on behalf of DCRA.

Property Owner

As the owner of the subject property, Varnum Holdings LLC is automatically a party under 11 DCMR § 3199.1, and will hereafter be referred to as the Owner. The Owner was represented by Sullivan & Barros, LLP, Martin B. Sullivan, Esq.

The Affected ANC

ANC 4C, as the affected ANC, was automatically a party to the appeal by virtue of 11 DCMR § 3199.1(a).

ANC Report

The ANC submitted two reports in this matter. In a resolution dated March 11, 2015, issued after a regularly scheduled monthly meeting with a quorum present, the ANC voted to support the appeal. (Exhibit 18.) In a separate motion, the ANC authorized Mr. John Stokes to present the ANC report before the Board, and to have Mr. Stokes represent the ANC before the Board. (Exhibit 18.) In its initial report, the ANC alleged that the permit unlawfully allowed violations of the Zoning Regulations regarding height and density, rear and side yard requirements, overcrowding, parking lot requirements, and roof structure requirements. (Exhibit 18.) In a later submission, dated August 12, 2015, after a regularly scheduled monthly meeting with a quorum present, the ANC voted to submit a “Letter of Support” further detailing its support of the appeal (Exhibits 71 and 72.) Among other things, the ANC stated in its report that the ZA erred in approving the permit because: (1) The proposal was not a “conversion” of one building, but a proposal to construct two separate buildings; and, (2) When exercising its discretion to allow a minor deviation of the lot area requirements, the ZA failed to take into account the preamble language pertaining to the R-4 Regulations, such as the fact that “apartment houses are specifically discouraged” in the R-4 District. Ms. Elisa Irwin, the Commissioner for Single Member District ANC 4C03, testified on behalf of the ANC at the public hearing on the appeal.

Requests to Participate as a Party

Several neighbors filed Requests for Party Status and/or Requests to Intervene in support of the Appeal. (See Exhibits 55, 56, 58, 66, 67, and 73, filed during the period of time between August 30 and September 1, 2015.) The Board treated these requests as requests to participate as a party under § 3106.2. Subsection 3106.2 requires that such requests be filed not less than 14 days prior

to the date set for the hearing. Because the hearing was initially set for May 5, 2015, all of the requests to participate as a party were untimely, and were therefore denied. However, the Board afforded the neighbors an opportunity to testify in support of the appeal.

Persons in Support of the Appeal

The Board also received written submissions from neighboring property owners in support of the appeal. (See, for example, Exhibits 19, 27, and 34-39.)

Motions and Continuances

The May 5, 2015 hearing date. As stated, the public hearing was first scheduled for May 5, 2015, and the Board heard testimony from the Appellant and Henrik Weng (a neighbor in support of the appeal) on that date. However, the Board also noted the lack of specificity in the Appellant's pleading (the Statement on Appeal), and in Appellant's testimony. Following extended colloquy between the Board and the Appellant, the Appellant requested a continuance. The Board continued the hearing to June 30, 2015 to allow Appellant to file a revised appeal that contained more particularized claims. The Board also allowed responses to Appellant's filing from DCRA and the Owner, and a reply by the Appellant to said responses. The Board set a timetable for all filings.

The June 30, 2015 hearing date. The Appellant filed a revised Statement of Appeal (Exhibit 42) in accordance with the Board's directive. DCRA and the Owner filed late responses to the revised Statement, and requested that the Board accept the late responses, claiming there had been a good faith misunderstanding of the due date that was set by the Board on May 5. The Appellant requested a second continuance, partly so he could "reply" to the late responses from the Owner and DCRA, and partly so he could retain an architect to review plans and elevations that had been provided by DCRA. The Board granted the requests by DCRA and the Owner to accept their late filings. The Board also granted the Appellant's second request for a continuance, and scheduled a continued hearing for September 15, 2016.

The September 15, 2015 hearing date. Prior to the September 15 hearing date, the Board received a third request for a continuance from the Appellant (Exhibit 57), and responses in opposition to this request from DCRA and the Owner (Exhibits 62 and 64.) The Appellant withdrew the continuance request. As discussed previously, the Board also received and ruled on the Requests for Party Status from various neighbors. During the September 15 hearing, the Board focused on the merits of the appeal. The Board heard further testimony from the Appellant, and also heard testimony from DCRA, the Owner, a representative of ANC 4C, and four neighbors who testified in support of the appeal.

Scope of the Hearing

The Board requested clarification from the Appellant regarding the alleged violations of the Zoning Regulations. Based upon the testimony of the Appellant and his revised Statement on

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Appeal, the Board clarified that this appeal was based upon alleged violations of the following Zoning Regulations:

- §2500 Impermissible second building,
- §407 ZA flexibility rule,
- §101 Purpose of the Zoning Regulations,
- §330 Purpose of the R-4 zone district,
- §199 Definitions of the terms “basement” and “cellar,”
- §403 Lot occupancy requirements,
- §402 FAR (floor area ratio) requirements,
- §404 Rear yard requirements,
- §405 Side yard requirements, and
- §411 Rooftop structure requirement.

The ANC representative testified that the ANC’s claims of alleged violations were the same as those raised by the Appellant. (Hearing Transcript (“Tr.”), September 15, 2015, p.149-152.)

Closing of the Record

The Board closed the record at the end of the public hearing on September 15, 2015 and set the case for decision on September 29, 2015.

FINDINGS OF FACT

The Property

1. The subject property is located at 152 Varnum Street, N.W. (Square 2698, Lot 817) in the R-4 zone district.
2. The property is currently improved with a one-family dwelling that was constructed prior to May 12, 1958.
3. The property has a land area of 6,279 square feet.

The Proposed Project

Proposed Conversion to Apartment House

4. Prior to June 26, 2015, it was permissible to convert a pre-1958 structure into an apartment house, provided the lot occupancy requirements were met under § 403, and provided there

was at least 900 square feet of land area for each apartment unit (11 DCMR § 330.5(e).)¹

5. The Owner proposed converting the structure to a seven unit apartment house, a proposal that required 6,300 square feet of land area under § 330.5(e).
6. The property was approximately 21 square feet short of the minimum required amount of land area, or 0.33% short of the minimum required amount.

ZA Flexibility

7. Subsection 407.1 of the Zoning Regulations allows minor flexibility to the ZA to permit a deviation from the lot area requirements, subject to specified criteria, where the deviation does not exceed two percent of the minimum area requirements.
8. On August 11, 2014, the ZA issued a Determination Letter which granted minor flexibility pursuant to § 407.1 for the lot area deviation to allow the proposal for a matter-of-right addition and conversion to a seven-unit apartment house. (Exhibit 24.)
9. The Determination Letter noted that the deviation from § 401.3 is the only deviation required, and that the requested deviation of 0.33% (a third of one-percent) satisfied the “quantitative” requirement of § 407.1(a).
10. The Determination Letter concluded that the deviation would also satisfy the “qualitative” requirements of § 407.1(b) because it would not “impair the purpose of the otherwise applicable regulations”.
11. The Determination Letter noted that the degree of deviation requested is only one-third of one percent, which will have no apparent impact on adjacent properties. The Determination Letter noted the purpose of the R-4 District is to stabilize remaining one-family dwellings, but also noted the uniquely large size of this property compared to surrounding properties and the fact the conversion to an apartment house was already permitted as a matter-of-right. The Determination Letter noted that granting the deviation would allow seven units at market size for an apartment house in the District, rather than six slightly larger units. Despite the additional unit, the ZA noted that the lot occupancy, height, density, and other aspects of the property would not be increased as a result of the requested deviation. (Exhibit 24.)

Building Permit Application and Plans

12. On August 18, 2014, shortly after the Determination Letter was issued, the Owner

¹ As was discussed during the proceedings, § 330.5 has since been amended and such conversions became more restrictive, and § 407.1 was also amended to disallow the ZA from applying its minor deviations when determining the minimum lot area needed for such conversions (Z.C. Order No. 14-11.) However, the amended regulation went into effect on June 26, 2015, after the permit in this case was issued. Therefore, the amended regulation is not relevant to this appeal.

submitted proposed plans for the project, and applied for a building permit for the proposed conversion.

13. The application was for an addition to an existing building, where three of the four structural walls would be retained and an addition would be built to the rear of the existing building. (Exhibit 45.)
14. The approved plans depict one proposed building which shares the same stairwell, walls, and roof. (Exhibit 43A, at 10-13 (Sheets A202-205).)
15. The approved plans specify a total height of 39 feet and 11 inches, as measured from the existing grade at the midpoint of the main façade of the proposed building closest to the street line, up to the highest part of the roof. (Exhibit 22, Sheet A204, "Building Elevations", #1 Front Elevation.)
16. The approved plans specify three stories and a cellar. The height of the cellar is three feet and seven inches above the adjacent finished grade. The adjacent finished grade was measured from the existing grade at the midpoint of the main façade of the building (Exhibit 22, Sheet A204, "Building Elevations", #1 Front Elevations.)
17. The approved plans depict the proposed lot occupancy, including façade balconies, at 50%. (Exhibit 22, Sheet A000, "Cover Sheet" and Sheet A001, "Existing and New Work Site Plans".)
18. The approved plans show one side yard of 16 feet.
19. The approved plans provide for a rear yard of approximately 21½ feet. (Exhibit 22, Sheet A001, "Existing and New Work Site Plans".)
20. The approved plans show that the proposed air conditioning units on the rooftop rise three feet above the rooftop deck. (Exhibit 43A, Sheet A205.) Other rooftop mechanical equipment - aside from the air conditioning units - is located inside of an enclosure.

The Building Permit

21. On December 23, 2014, DCRA issued Building Permit No. B1411058 (Exhibit 81), which authorized the conversion of a one-family dwelling into two flats.
22. On December 31, 2014, DCRA issued a revised permit, Building Permit No. B1503050, which corrected the work description of the earlier permit to reflect the conversion of a one-family dwelling into a multi-family dwelling.
23. At the time of the public hearing, construction had not begun. However, DCRA had issued two stop work orders: one for a stairway penthouse setback deficiency, and the other for a failure to include all applicable plans with a neighbor notification form.

24. According to DCRA and the Owner, both of these deficiencies were corrected, and the stop work orders were lifted.
25. On June 25, 2015, DCRA issued Building Permit No. B1506170 to reflect these corrections.

The Appeal

26. This appeal was filed on February 27, 2015.
27. One side of the building to be converted shares and will continue to share an existing party wall with Appellant's residence. (Exhibit 30, Written Testimony of Appellant.)

CONCLUSIONS OF LAW

The Board is authorized by § 8 of the Zoning Act of 1938, D.C. Official Code § 6-641.07(g)(1) (2008 Repl.), to hear and decide appeals where it is alleged that there is error in any decision made by an administrative officer in the administration of the Zoning Regulations. The decision in this case is DCRA's issuance of the building permit. The alleged zoning errors were the ZA's determinations that: the proposal was for a conversion of one building and not the construction of two separate buildings; the height/story requirements were met; there was no violation of the FAR requirements; the minimum rear yard requirements were met; the side yard requirements were met; the rooftop structure requirements were met; and the requested minor deviation for lot area requirements could be granted. As will be explained below, the Board concludes that, the ZA did not err in any of the above determinations. The following will examine each claim of error.

The Claim of Two Separate Buildings

The Appellant's position is that the proposal includes an impermissible second building at the property in violation of § 2500 of the Zoning Regulations.² Appellant alleges that "over 90% of the original house ... will be removed" and "there will be two buildings, the first of which will consist of four apartments The second building will have three apartments on three floors...". (Exhibit 42, Appellant's Revised Statement on Appeal.) Appellant is incorrect. As indicated in the approved plans, there is only one proposed building at the property, and this building shares the same stairwell, walls, and roof. (Finding of Fact 14.)

The Zoning Regulations define a building as not "separated [i.e., connected] from the ground up or from the lowest floor up." (11 DCMR §199.1, "Building".) The Board has held that

² The citation to § 2500 assumes that the second of the two alleged buildings is an accessory building that exceeds the matter of right limits of that section. The section of the Zoning Regulation that limits the number of principal building on a lot in a residence zone is § 2516, which permits more than one principal building by special exception.

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The definition of “building” under §199.1 permit separate portions of a structure to be considered as a single building for zoning purposes provided that a communication exists between those separate portions at or above the main floor.

(BZA Application No. 18263-B of Stephanie and John Lester (2011).)

As the approved plans demonstrate, this definition has been met and a single building was approved.

The Claim Regarding the Minor Deviation for Lot Area Requirements

Subsection 407.1 of the Zoning Regulations authorizes the ZA to allow a minor deviation from up to two area requirements, including a deviation up to two percent from the lot area requirements of § 401.

In *Appeal No. 18108 of Advisory Neighborhood Commission 3C* (2011), the Board stated that the application of § 407.1 requires a two-part standard: not merely a quantitative or numerical exercise to calculate a permitted deviation, but also a qualitative analysis regarding whether a deviation would impair the purpose of the otherwise applicable regulations. In this case, the ZA engaged in both a quantitative and qualitative analysis.

Quantitative Analysis

As explained previously, the Owner sought one minor deviation from the lot area requirements so that it could convert a structure to seven apartment units instead of six apartment units.³ Because the Zoning Regulations require a minimum lot area of 900 square feet for each apartment unit, a total of 6,300 square feet of land area was required for the project. The subject property consists of 6,279 square feet of land area, and is therefore 21 feet short of the minimum required amount, or 0.33%. The ZA’s Determination Letter states that only one request for a deviation was made, and that this request was for only a 0.33% deviation from the lot area requirements. (Finding of Fact 9.)

Qualitative Analysis

The ZA also conducted a qualitative analysis and determined that the deviation would not impair the purpose of the otherwise applicable regulations. It is this portion of the analysis which the Appellant contests and it will be examined more closely.

As described in Findings of Fact 10 and 11, the ZA considered several qualitative factors in his analysis, for example: the extremely small amount of the deviation required, the uniquely large size of the lot, the fact that conversions to apartment houses were allowed as a matter-of-right, the relative consistency in character between a six-unit building and a seven-unit building, the fact

³ As proposed, six of the units will comply with the 900 square feet minimum and the seventh unit will be 879 square feet.

that the seven-unit configuration provides fairly large living units (1,350 square feet) for an apartment in the District, and the fact that this decision does not allow for any increase in the overall density or bulk of the proposed project.

Appellant argues that a qualitative analysis should have included:

1. An analysis of § 101 of Title 11, particularly § 101.1 (b), which provides that in “their interpretation and application, the provisions of this title shall be held to be the minimum requirements ... to ... [p]revent undue concentration of population and the overcrowding of land” and § 102.1 (b), which states that the “regulations in this title ... are designed with consideration of the... [c]haracter of the respective districts ... ; and
3. Further analysis of the purpose of the R-4 zone district (stating the R-4 zone is not an apartment house district, and the purpose of the R-4 is to stabilize the remaining one-family dwellings.)

As explained above, the ZA did consider the purpose of the R-4 zone, but also noted that conversions to apartment houses were allowed as a matter-of-right. With respect to § 101, the Board concluded in *Appeal 18108*, that § 101 is not pertinent because it contains statements about the nature of the Zoning Regulations in general. The Board believes that the ZA correctly identified the pertinent regulations and properly analyzed the impact of the deviation on their intended purposes.

In sum, the Board is not persuaded by the Appellant that an error occurred in the decision of the ZA, pursuant to § 407.1, to approve a minor deviation in the minimum lot area required so as to allow a seventh apartment unit.

The Claim of Excessive Height/Number of Stories

The Appellant also alleges that the proposed building violates the requirements of § 400 in that it exceeds the maximum allowable height (40 feet) and the maximum number of stories (three). This claim is incorrect.

Regarding the building height, the approved plans indicate that the total height of the building is 39 feet and 11 inches. (Finding of Fact 15.) This height is within the maximum height of 40 feet which is allowed in the R-4 zone district. (11 DCMR § 400.1.)⁴ Moreover, the ZA utilized the measuring process specified by §§ 400.15-400.17, by measuring the height from the existing grade at the midpoint of the main façade of the proposed building up to the highest part of the roof. (Finding of Fact 15.)

⁴ The amendments referred to earlier in this Order also reduced matter of right height for this type of development to 35 feet, subject to up to five additional feet by special exception.

Regarding the number of stories, § 400.1 limits buildings in an R-4 zone district to three stories in height. The definition of “story” excludes cellars and stairways or other rooftop structures. (11 DCMR § 199.1.) The term “cellar” is defined as space with a ceiling less than four feet above the adjacent finished grade. The approved plans specify three stories and a cellar, and that the floor of the first floor is three feet and seven inches above the adjacent finished grade. (Finding of Fact 16.)

The Appellant disputes the measurements regarding the height and the number of stories, claiming that the building height and lower level cellar should be measured from the window well on the west wall. However, the ZA testified that it was longstanding practice to treat window wells as exceptions to grade, and that the correct practice was to measure from the adjacent grade. (Tr., September 15, 2015, p. 173.) The Board finds this interpretation to be reasonable. Moreover, under § 400.1, maximum height is measured in terms of feet and in terms of stories. In residential zones, the building height and number of stories are both measured from the center of the front of the building, not the side of the building, where the window wells are. (See, 11 DCMR §§ 400.15 and 400.16.)

The Claim of Excessive FAR

The Appellant has alleged that the permit approval violates § 402, which governs floor area ratio (“FAR”) requirements in residential districts. However, there is no FAR requirement in the R-4 zone district, where the subject property is located. (See, 11 DCMR § 402.4.) The FAR requirement is first prescribed in the R-5 zone district, where it is 0.9. (*Id.*) The Appellant acknowledges that no FAR requirement is prescribed in the R-4 zone. However, he asserts that the proposed building has a FAR of 1.5, an amount that exceeds the allowable FAR in the R-5 zone. As such, Appellant argues that the R-4 Zoning Regulations should not be interpreted to permit an amount of density that would be disallowed in the R-5 zone. Even assuming that the Appellant’s calculations are correct⁵, any anomaly between the densities permitted within more and less restrictive zone districts can only be rectified by the Zoning Commission through a text amendment, not by the ZA or this Board. (See, D.C. Official Code § 6-651.07(e) (“The Board ... shall not have the power to amend any regulation or map.”))

The Claim of an Insufficient Rear Yard

The Appellant alleges that the proposed building does not meet the requirements of § 404.1 which requires a minimum rear yard of 20 feet. However, the Board finds no evidence of this claim. The approved plans show a rear yard of approximately 21½ feet. (Finding of Fact 19.)

The Claim of Insufficient Side Yards

⁵ The Appellant would count the lower level “basement” as building area toward the FAR. (Tr., September 15, 2015, p. 155.) As discussed above, the Board has concluded that the lower level is a “cellar”, which does not count as building area toward FAR. Thus, the Appellant’s FAR calculation of 1.5 may be inaccurate.

The Appellant claims that what he refers to as the second apartment building is proposed up to the lot line abutting his property. He also claims that under § 405 of the Regulations, a side yard is required on each free standing side of this purported second building. (Exhibit 42, p. 4.) However, as explained earlier, the Appellant erroneously treats the proposed rear addition as a second building. For zoning purposes, there is only one building. Subsection 405.6 of the Regulations states that if a side yard is provided, it must be a minimum of eight feet. In this case, there is one side yard provided that is 16 feet in width. (Finding of Fact 18.) Thus, the side yard requirement has been met.

Moreover, the Appellant's reliance on § 405.3 is misplaced. Subsection 405.3 only applies to buildings that do "not share a common division wall" with another building. As the Appellant states, the building to be converted shares a party wall with the Appellant's residence. (Finding of Fact 26.)

The Rooftop Structure Claim

The Appellant contends that the presence of rooftop air conditioners on two separate locations violates § 411.3 of the Regulations, requiring that all mechanical equipment be housed in a single enclosure.⁶ However, the approved plans show air conditioning units on the rooftop that rise three feet above the rooftop deck. (Finding of Fact 20.) Under § 411.17, rooftop structures less than four feet above a roof are exempt from other requirements of § 411 governing roof structures. Thus, this claim also lacks merit.

ANC

The Board is required to give "great weight" to the issues and concerns raised by the affected ANC D.C. (Official Code §1-309.10(d) (1012 Repl.)) As noted, ANC 4C voted to support Mr. Stokes' appeal and participated fully in the proceedings before the Board. As also noted, the ANC raised the same issues and concerns that were raised by the Appellant in his appeal. Therefore, for the reasons explained above, the Board finds the ANC's advice not to be persuasive.

CONCLUSION

For reasons discussed above, it is hereby **ORDERED** that the appeal is **DENIED**.

VOTE: 3-1-1 (Lloyd J. Jordan, Jeffrey L. Hinkle, and Frederick L. Hill voting to DENY the appeal, affirming the Zoning Administrator; Anthony J. Hood opposed to the motion; Marnique Y. Heath, not participating.)

⁶ As a result of an amendment to § 411 occurring after the issuance of the building permit, this exemption was moved to § 411.2 and reworded. Other claims regarding the rooftop structures were not pressed by Appellant because permit revisions occurred to correct discrepancies with respect to equal height and rooftop setbacks.

BZA APPEAL NO. 18991
PAGE NO. 12

BY ORDER OF THE D.C. BOARD OF ZONING ADJUSTMENT

A majority of the Board members approved the issuance of this order.

ATTESTED BY:



SARA A. BARDIN
Director, Office of Zoning

FINAL DATE OF ORDER: August 19, 2016

PURSUANT TO 11 DCMR § 3125.9, NO ORDER OF THE BOARD SHALL TAKE EFFECT UNTIL TEN (10) DAYS AFTER IT BECOMES FINAL PURSUANT TO § 3125.6.

Exhibit E

GOVERNMENT OF THE DISTRICT OF COLUMBIA



DEPARTMENT OF CONSUMER & REGULATORY AFFAIRS
 Inspections & Compliance Administration
 1100 4th Street, SW – Fourth Floor
 Washington, DC 20024

STOP WORK ORDER

452 NEWTON BL NW

(Address)

You are hereby ordered to IMMEDIATELY STOP all work at this building or structure.

- You are performing work that violates the Construction Code:
- You are performing work in an unsafe and dangerous manner:

Code Section (s)	Violation (s)	What You Must Do to Correct the Violation (s)
12A DCMR 105.1	EXCEEDING THE SCOPE OF PERMIT	OBTAIN REQUIRED PERMIT

Do NOT work at this address until you:

- Correct the violation(s)
- Pay the fine amount
- Obtain and post the required permit(s)
- Electrical Plumbing Construction Boiler Fire Elevator Other _____
- Receive approval from the Code Official to remove the Stop Work Order.

WARNING

Unauthorized removal of a posted Stop Work Order is a Construction Code violation, subject to penalties and injunctive relief under DC Official Code §6-1406 and §6-1407 and 12A DCMR §114.3.

A Stop Work Order for illegal construction under 12A DCMR §113.7 and §114.6 requires you to stop all work at the building or structure, *whether or not the work requires building permits.*

It is a Stop Work Order violation for an owner or agent to enter the site for any reason without the Code Official's approval. (The Building Official may allow temporary access to ensure the property's security and safety, under 12A DCMR §114.6.1.)

Anyone who continues any work in or around a structure posted with a Stop Work Order – except to do work that the Building Official approves to remove a violation or unsafe condition – is subject to penalties and injunctive relief under DC Official Code §6-1406 and 12A DCMR §105.8 and 12A DCMR §114.10.

RIGHT TO APPEAL

You have the right to appeal this Order to the Reviewing Official (Rabbiah Sabbakhan, Chief Building Code Official, Inspections and Compliance Administration) within 15 days of its posting, under 12A DCMR §114.11.1. You may call the Reviewing Official at (202) 442-7867. You may obtain a Stop Work Order Appeal Request Form at the address above or at dcra.dc.gov. If the Reviewing Official denies your appeal or takes no action within 10 working days of receiving it, you may appeal to the DC Office of Administrative Hearings (OAH). You may deliver your written request for a hearing to OAH at 441 4th Street, NW, Suite 1040S, Washington, DC 20002 or mail it to PO Box 77718, Washington, DC 20013-8713.

Signature of Issuing Official [Signature] Date 6-12-15 Time 2:43 PM
 Badge Number 2022 Phone Number 202 442 7867

Exhibit F

452 NEWTON PLACE, NW

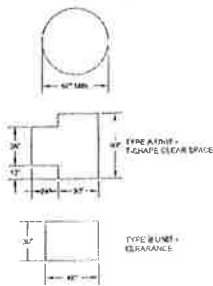
LEGEND:

- GRID LINE
- SECTION TAG
- INTERIOR ELEVATION
- EXTERIOR ELEVATION
- DETAIL TAG
- ELEVATION TAG
- WINDOW TAG
- DOOR TAG
- WALL TYPE
- DRAWING TITLE

ABBREVIATIONS:

- AB ANCHOR BOLT
- A/C AIR CONDITIONING
- ACT ACOUSTICAL CEILING TILE
- ADJ ADJUSTABLE
- AFF ABOVE FINISHED FLOOR
- BD BOARD
- BIT BITUMINOUS
- BKG BLOCKING
- BLDG BUILDING
- BM BEAM
- BOF BOTTOM OF FOOTING
- BR BRICK
- BRG BEARING
- C COURSE
- CAB CABINET
- CFM CUBIC FEET PER MINUTE
- CI CAST IRON
- CLG CEILING
- CMU CONC MASONRY UNIT
- COL COLUMN
- CONC CONCRETE
- CONT CONTINUOUS
- CPT CARPET
- CT CERAMIC TILE
- CTR CENTER
- DBL DOUBLE
- DEM DEMOLISH/DEMOLITION
- DN DOWN
- DR DOOR
- DS DOWNSPOUT
- DWG DRAWING
- EA EACH
- EL ELEVATION
- ENCL ENCLOSURE
- EQ EQUAL
- EQPT EQUIPMENT
- EX EXISTING
- EXP EXPANSION
- EXT EXTERIOR
- FBRGL FIBERGLASS
- FD FLOOR DRAIN
- FDN FOUNDATION
- FF FOIL FACE
- FIN FINISH
- FL FLOOR
- FLG FLASHING
- FOM FACE OF MASONRY
- FS FULL SIZE
- FT FOOT OR FEET
- FTG FOOTING
- FUR FURRING
- GA GAUGE
- GAL GALVANIZED
- GC GENERAL CONTRACTOR
- GL GLASS
- GR GRADE
- GTR GUTTER
- GWB GYPSUM WALL BOARD
- HB HOSE BIB
- HC HANDICAP
- HD HEAD
- HDR HEADER
- HDW HARDWARE
- HGR HANGER
- HOR HORIZONTAL
- HT HEIGHT
- HTG HEATING
- HVAC HEATING VENTILATING AND AIR CONDITIONING
- HW HOT WATER
- HWD HARDWOOD
- ID INSIDE DIAMETER
- INS INSULATION
- INT INTERIOR
- JB JAMB
- JST JOIST
- KIT KITCHEN
- LAM LAMINATED
- LAV LAVATORY
- LBS POUNDS
- LH LEFT HAND
- LT LIGHT
- MAS MASONRY
- MAX MAXIMUM
- MECH MECHANICAL
- MEMB MEMBRANE
- MFR MANUFACTURER
- MIN MINIMUM
- MISC MISCELLANEOUS
- MLDGMOLDING
- MO MASONRY OPENING
- MTD MOUNTED
- MTL METAL
- NO# NUMBER
- NTS NOT TO SCALE
- OC ON CENTER
- OD OUTSIDE DIAMETER
- OPG OPENING
- OPP OPPOSITE
- PC PRECAST CONCRETE
- PL PLATE
- PLAM PLASTIC LAMINATE
- PLAS PLASTER
- PNL PANEL
- PNT PAINT
- PR PAIR
- PSF POUNDS PER SQ FOOT
- PSI POUNDS PER SQ INCH
- PVC POLYVINYL CHLORIDE
- PLY PLYWOOD
- R RISER
- RAD RADIUS
- RD ROOF DRAIN
- REBAR STEEL REINFORCING BAR
- REC RECESSED
- REFG REFRIGERATOR
- REINF REINFORCED
- REQ REQUIRED
- REV REVERSE
- RFG ROOFING
- RH RIGHT HAND
- RM ROOM
- RO ROUGH OPENING
- RTG RATING
- SCHDSCHEDULE
- SECT SECTION
- SF SQUARE FOOT
- SHT SHEET
- SIM SIMILAR
- SM# SMOOT LUMBER
- COMPANY DESIGNATION
- SPEC SPECIFICATION
- SPKR SPRINKLER
- SQ SQUARE
- S&R SHELF AND ROD
- STD STANDARD
- STL STEEL
- STR STRUCTURE
- SUSP SUSPENDED
- SYS SYSTEM
- T TREAD
- T&G TONGUE AND GROOVE
- TEL TELEPHONE
- TEMP TEMPERED
- THK THICK
- TOF TOP OF FOOTING
- TOW TOP OF WALL
- TV TELEVISION
- TYP TYPICAL
- UNLESS OTHERWISE NOTED
- VB VAPOR BARRIER
- VCT VINYL COMPOSITION TILE
- VERT VERTICAL
- VT VINYL TILE
- W WITH
- WD WOOD
- WIN WINDOW
- W/O WITHOUT
- WP WATERPROOFING
- WR WATER RESISTANT
- WSCT WAINSCOT
- WT WEIGHT
- WWF WELDED WIRE FABRIC

ADA TURNING SPACE



324.3 CIRCULAR SPACE: THE TURNING SPACE SHALL BE A CIRCULAR SPACE WITH A DIAMETER (TOP AND BOTTOM) DIAMETER. THE TURNING SPACE SHALL BE PERMITTED TO INCLUDE: RISE AND TIS CLEARANCE COMPLIANT WITH SECTION 303.

303.3 T-SHAPED SPACE: THE TURNING SPACE SHALL BE A T-SHAPED SPACE WITH A MINIMUM 5'0" WIDE END AND A MINIMUM 5'0" WIDE CROSSBAR. THE TURNING SPACE SHALL BE PERMITTED TO INCLUDE: RISE AND TIS CLEARANCE COMPLIANT WITH SECTION 303.

GENERAL NOTES:

CONTRACTOR SHALL VERIFY AND FAMILIARIZE HIMSELF WITH ALL FIELD CONDITIONS PRIOR TO SUBMITTING PROPOSALS AND COMMENCING CONSTRUCTION. FIELD CONDITIONS NOT AGREEING WITH CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & DESIGNER PRIOR TO BEGINNING WORK. ALL ADDITIONAL WORK NEEDED TO COMPLETE THE PROPOSED PROJECT WHICH IS NOT INDICATED ON DRAWINGS SHALL RECEIVE PRIOR AUTHORIZATION FROM THE HOMEOWNER.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION WHETHER SUCH WORK IS INDICATED ON DRAWINGS OR SPECIFICATIONS.

ALL MANUFACTURED / PREFABRICATED ITEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE WRITTEN MANUFACTURES SPECIFICATIONS.

JOB SITE SHALL BE KEPT IN A CLEAN AND ORDERLY FASHION AT THE END OF EACH DAYS WORK. ALL WARRANTIES, GUARANTIES AND MANUFACTURERS INSTRUCTIONS SHALL BE PRESENTED TO THE HOMEOWNER IN A COMPLETE AND ORDERLY MANNER AT THE CONCLUSION OF CONSTRUCTION. ALL WORK PERFORMED SHALL BE EXECUTED TO GREATER THAN STANDARD BUILDING QUALITY AND SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CLIENT OR HIS CONTRACTORS, SUBCONTRACTORS OR ANYONE PERFORMING WORK TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPLICABLE RESIDENTIAL CODES, REGULATIONS, AND CONTRACT DOCUMENTS.

BY A LICENSED GENERAL CONTRACTOR ENTERING INTO AGREEMENT WITH THE HOMEOWNER/PROPERTY OWNER, HE AGREES TO KEEP CURRENT ALL INSURANCES, WORKER'S COMPENSATION AS REQUIRED, AND AGREES TO INDEMNIFY/HOLD HARMLESS THE HOMEOWNER/ PROPERTY OWNER FROM ANY ACCIDENTS OCCURRING FROM THE SCOPE OF WORK REQUIRED TO COMPLETE THE PROPOSED PROJECT.

CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING & DISPOSING OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM WORK AT THE JOB SITE. CONTRACTOR SHALL PROVIDE PROTECTION BETWEEN THE NEW CONSTRUCTION AND THE EXISTING BUILDING AND TAKE ADEQUATE MEASURES TO KEEP DUST TO A MINIMUM. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL CLEAN THE ENTIRE PREMISES AND TURN OVER ALL KEYS USED DURING CONSTRUCTION, OLD AND NEW. SEE NOTE ABOVE.

ALL EXISTING CONDITIONS SHOULD BE FIELD VERIFIED INCLUDING DIMENSIONS AND STRUCTURE. SOME VARIATIONS COULD EXIST AND IT IS THE RESPONSIBILITY OF OTHERS TO CONFIRM THE INFORMATION HEREIN.

APPLICABLE BUILDING CODES	
This project conforms to all applicable building codes and zoning regulations for the District of Columbia. All codes subject to the District of Columbia Construction Codes 2009 Supplement Amendments and all revisions.	
BUILDING IBC 2012:	INTERNATIONAL BUILDING CODE - 2012, DCMR 12A
MECHANICAL IMC 2012:	INTERNATIONAL MECHANICAL CODE - 2012, DCMR 12E
PLUMBING IPC 2012:	INTERNATIONAL PLUMBING CODE - 2012 DCMR 12F
ELECTRICAL:	2005 NEC/NFPA 70 - NATIONAL ELECTRICAL CODE, DCMR12C
FIRE IFC 2012:	INTERNATIONAL FIRE CODE - 2012, DCMR 12H
ENERGY IECC 2012:	INTERNATIONAL ENERGY CONSERVATION CODE - 2012, DCMR12I
FUEL IFGC 2012:	INTERNATIONAL FUEL GAS CODE - 2012, DCMR 12D
EXISTING BLDG IEBG 2012:	INTERNATIONAL EXISTING BLDG CODE - 2012, DCMR 12J
PROPERTY IPMC 2012:	INTERNATIONAL PROPERTY MAINTANCE CODE - 2012, DCMR 12G
AMENDMENTS: DCMR12 BUILDING CODE REGULATIONS, 2009	
ZONING:	DCMR TITLE 11 - ZONING REGULATIONS
ADA:	ICC/ANSI A117.1-2003: ACCESSIBLE AND USABLE BUILDINGS A FACILITIES

BUILDING CLASSIFICATIONS	
USE GROUP (IBC 2012 - 310)	R-2
TYPE OF CONSTRUCTION (IBC 2012 - 602)	TYPE VA
FULLY SUPPRESSED / SPRINKLERS (IBC 2012 - 903.3.1.2)	NO NFPA 13 R

PROJECT NARRATIVE:

INTERIOR RENOVATION OF EXISTING STRUCTURE TO INCLUDE: FINISHES, FIXTURES, FITTINGS, S'MEP, AND CHANGE OF USE FROM TWO FAMILY FLAT TO THREE UNIT CONDOMINIUM BUILDING. PLEASE SEE CONFIRMATION EM AIL FROM MATT LEGRANT ALLOWING THE THREE UNIT CONDOMINIUM BUILDING. INTERIOR DEMO PERMIT OBTAINED. DEMOLITION OF EXTERIOR REAR WOOD FRAMED ADDITION AND DETACHED GARAGE.

DRAWING LIST:

- C 0001 COVER PAGE
- AD0101 EXISTING/DEMOLITION FLOOR PLANS
- AD0201 EXISTING/DEMOLITION ELEVATIONS
- A0101 PROPOSED FLOOR PLANS
- A0201 PROPOSED ELEVATIONS
- S0100 STRUCTURAL NOTES
- S0101 STRUCTURAL PLANS
- M0101 MECHANICAL PLANS
- E0100 ELECTRICAL NOTES
- E0101 ELECTRICAL PLANS
- E0102 ELECTRICAL SCHEDULES
- P0101 PLUMBING PLANS
- P0102 PLUMBING PLANS



452 Newton Place, NW

LeGrant, Matt (DCRA) <matt.legrant@dc.gov>
To: KC Price <kc@kcdstudios.com>

KC Price <kc@kcdstudios.com>

Mon, Apr 6, 2015 at 5:32 PM

KC Price-

After reviewing your email and attachments asking for minor flexibility under 11 DCMR 407.1 for a lot that is 2,660 SqFt which is 40 SqFt less than the normal standard of 2,700 SqFt necessary for a three unit apartment building, based on the 900 square feet per dwelling unit standard, I will grant the request as this would constitute a 1.5% deviation of the lot size requirement, which is within the flexibility that can be granted. Based on the information you provided I agree that this is unlikely to adversely affect adjacent properties, and all other zoning requirements will be met by the proposed plans.

Please let me know if you have any further questions.

Best Regards,

Matthew Le Grant

Zoning Administrator

Dept of Consumer and Regulatory Affairs

Government of the District of Columbia

1100 4th St SW - Room 3101

Washington, DC 20034

Phone: 202 442-4652

Email: matt.legrant@dc.gov

Web: <http://dcra.dc.gov/service/zonina-dcra>

These drawings have been reviewed for code compliance with the applicable provisions of the DC Construction Codes and the approval of the DC Department of Consumer and Regulatory Affairs is hereby granted. The project is subject to the field inspection.

Structural
 Framing
 Electrical
 Mechanical
 Plumbing

12/2/15

SEPARATE ELECTRICAL, PLUMBING AND MECHANICAL INSTALLATION PERMITS ARE REQUIRED

DCRA/OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH THE REQUIREMENTS OF DC ZONING REGULATIONS (11 DCMR)

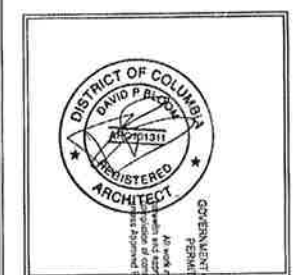
8/3/15

These drawings have been reviewed for code compliance with the applicable provisions of the DC Construction Codes and the approval of the DC Department of Consumer and Regulatory Affairs is hereby granted. The project is subject to the field inspection.

Structural
 Framing
 Electrical
 Mechanical
 Plumbing

B-3115

OFFICIAL
 PROJECT OF DISTRICT OF COLUMBIA
 REGISTERED ARCHITECT
 452 NEWTON PLACE, NW
 WASHINGTON, DC 20010
 LOT: 0089 SQUARE 3036



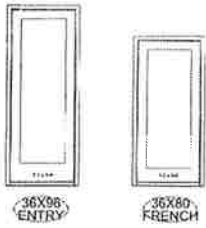
SCALE: AS NOTED
DATE: 02/05/2015
PROJECT NUMBER: 452 NEWTON

CS

DOOR SCHEDULE

TAG	SIZE	DESCRIPTION
24X80	2'-0" X 6'-8"	FLAT PANEL SOLID CORE MASONITE
30X80	2'-6" X 6'-8"	FLAT PANEL SOLID CORE MASONITE
30X80 FRENCH	2'-6" X 6'-8"	WEATHERSHIELD LOW-E U .30
36X80	3'-0" X 6'-8"	FLAT PANEL SOLID CORE MASONITE
36X80 ENTRY	3'-0" X 6'-8"	EXTERIOR ENTRY DOOR / EXTERIOR ROOF DECK ENTRY
36X80 1 HR	3'-0" X 6'-8"	FLAT PANEL 60 MIN RATED FIRE DOOR
48X80	(2) 2'-0" X 6'-8"	FLAT PANEL SOLID CORE MASONITE
60X80	(2) 2'-6" X 6'-8"	FLAT PANEL SOLID CORE MASONITE
60X80	(2) 2'-6" X 6'-8"	WEATHERSHIELD LOW-E U .30

EXTERIOR DOOR SCHEDULE



WEATHERSHIELD PREMIUM LINE ENERGY STAR U FACTOR - .30 STANDARD LOW-E

FLOOR LEVEL	LOAD FACTOR	OCCUPANT LOAD	EGRESS STAIR WIDTH	EXIT'S PER FLOOR	EXIT SEPARATION
CELLAR - 1,108 sq. ft.	200 gross	5.54	5.54 x 0.2 inch = 1,108	2	
1st FLOOR - 1,108 sq. ft.	200 gross	5.54	5.54 x 0.2 inch = 1,108	1	
2nd FLOOR - 1,108 sq. ft.	200 gross	5.54	5.54 x 0.2 inch = 1,108	1	
TOTAL		32.46	32.865 x 0.2 inch = 6.573	1	

NOTE: STAIR WIDTH 1009.1 - THE WIDTH OF STAIRWAY SHALL BE DETERMINED AS SPECIFIED IN SECTION 1005.1, BUT SUCH WIDTH SHALL NOT BE LESS THAN EXCEPTION STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36"

INTERIOR CEILING & WALL FINISH REQUIREMENTS FOR GROUP R-2

ITEM	FINISH CLASS
EXIT ENCLOSURES/PASSAGE	C
CORRIDORS	C
ROOMS/ENCLOSED SPACES	C

BUILDING DATA	EXISTING	PROPOSED
HEIGHT ABOVE GRADE	33'-6"	33'-6"
HEIGHT BELOW GRADE	2'-10"	2'-10"
GROSS SQ. FT. PER FLOOR - CALCULATED FROM EXTERIOR WALLS		
CELLAR	1,109 sq. ft.	1,109 sq. ft.
1st FLOOR	1,109 sq. ft.	1,109 sq. ft.
2nd FLOOR	1,109 sq. ft.	1,109 sq. ft.
USE GROUP: R-3		
CONSTRUCTION TYPE	TYPE - VA	TYPE -VA
SPRINKLER SYSTEM	NO	NO
FIRE ALARM SYSTEM	NO	YES
FIRE EXTINGUISHERS	YES	YES
SMOKE DETECTION SYSTEM	YES	YES
ADA ACCESSIBILITY	NO	NO
FLOOR AREA (GFA) (INC. CELLAR)	3,327 sq. ft.	3,327 sq. ft.
NUMBER OF STORIES ABOVE GRADE	2	TYPE -VA
IBC/CHAPTER 5		3S / 12,000
SOUND TRANSMISSION CLASS	50	50

ZONING DATA	EXISTING	PROPOSED
SQUARE:	3036	3036
LOT:	0089	0089
ZONE:	R-4	R-4
YEAR BUILT	1908	2015
LOT AREA	2,660 sq. ft.	2,660 sq. ft.
GFA (INC. CELLAR FLOOR)	3,327 sq. ft.	3,327 sq. ft.
F.A.R.	.79	.79
BUILDING AREA	1,346 sq. ft.	1,284 sq. ft.
LOT OCCUPANCY	50%	48%
NO. STORIES ABOVE GRADE	2 + C	2 + C
BUILDING HEIGHT	33'-6"	33'-6"
NO. OF UNITS	2	3
SIDE YARD SET BACKS	3.1	3.1
REAR YARD SET BACK	30	30

TAG	ELEVATION	DESCRIPTION
A		WEATHERSHIELD PREMIUM LINE ENERGY STAR U FACTOR - .30 STANDARD LOW-E
B		WEATHERSHIELD PREMIUM LINE ENERGY STAR U FACTOR - .30 STANDARD LOW-E
C		WEATHERSHIELD PREMIUM LINE ENERGY STAR U FACTOR - .30 STANDARD LOW-E
D		WEATHERSHIELD PREMIUM LINE ENERGY STAR U FACTOR - .30 STANDARD LOW-E

Thermal Performance Data Premium Double Hung Windows (8109)



Date Order	Window Type	ENERGY PERFORMANCE DATA				CANADIAN ENERGY PERFORMANCE DATA			
		U-Factor	SHGC	Visible Transmittance	Acoustic Coefficient	U-Factor	SHGC	Visible Transmittance	Acoustic Coefficient
No Grilles	34" Clear View	0.87	0.56	0.61	53	1.01	0.50	0.55	15
	34" Insul Line 5	0.84	0.51	0.53	53	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	

Thermal Performance Data Premium Slider (8401)



Date Order	Window Type	ENERGY PERFORMANCE DATA				CANADIAN ENERGY PERFORMANCE DATA			
		U-Factor	SHGC	Visible Transmittance	Acoustic Coefficient	U-Factor	SHGC	Visible Transmittance	Acoustic Coefficient
No Grilles	34" Clear View	0.87	0.56	0.61	53	1.01	0.50	0.55	15
	34" Insul Line 5	0.84	0.51	0.53	53	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	
	34" Insul Line 8 w/Argon	0.81	0.51	0.53	56	1.01	0.50	15	

* U-Factor calculations are based on computer simulations that are done in accordance with NFRC 100-2004, NFRC 200-2004, and NFRC 300-2004.

US Qualification Criteria	Climate Zone	U-Factor	SHGC
Northern	Northwest	<= 0.30	Any
	North Central	<= 0.30	<= 0.50
	South Central	<= 0.30	<= 0.50
Southern	South Central	<= 0.30	<= 0.50
	Southern	<= 0.30	<= 0.50

US Qualification Criteria	Climate Zone	U-Factor	SHGC
Northern	Northwest	<= 0.30	Any
	North Central	<= 0.30	<= 0.50
	South Central	<= 0.30	<= 0.50
Southern	South Central	<= 0.30	<= 0.50
	Southern	<= 0.30	<= 0.50

452 NEWTON PLACE, NW

452 NEWTON PLACE, NW
WASHINGTON, DC 20010
LOT: 0089 SQUARE 3036



SCALE: AS NOTED
DATE: 02/05/2015
PROJECT NUMBER: 452 NEWTON

CS-1



1 EXISTING WEST ELEVATION
 SCALE: 1/4" = 1'-0" 24X36 LAYOUT
 SCALE: 1/8" = 1'-0" 11X17 LAYOUT



3 EXISTING NORTH ELEVATION
 SCALE: 1/4" = 1'-0" 24X36 LAYOUT
 SCALE: 1/8" = 1'-0" 11X17 LAYOUT



2 EXISTING SOUTH ELEVATION
 SCALE: 1/4" = 1'-0" 24X36 LAYOUT
 SCALE: 1/8" = 1'-0" 11X17 LAYOUT

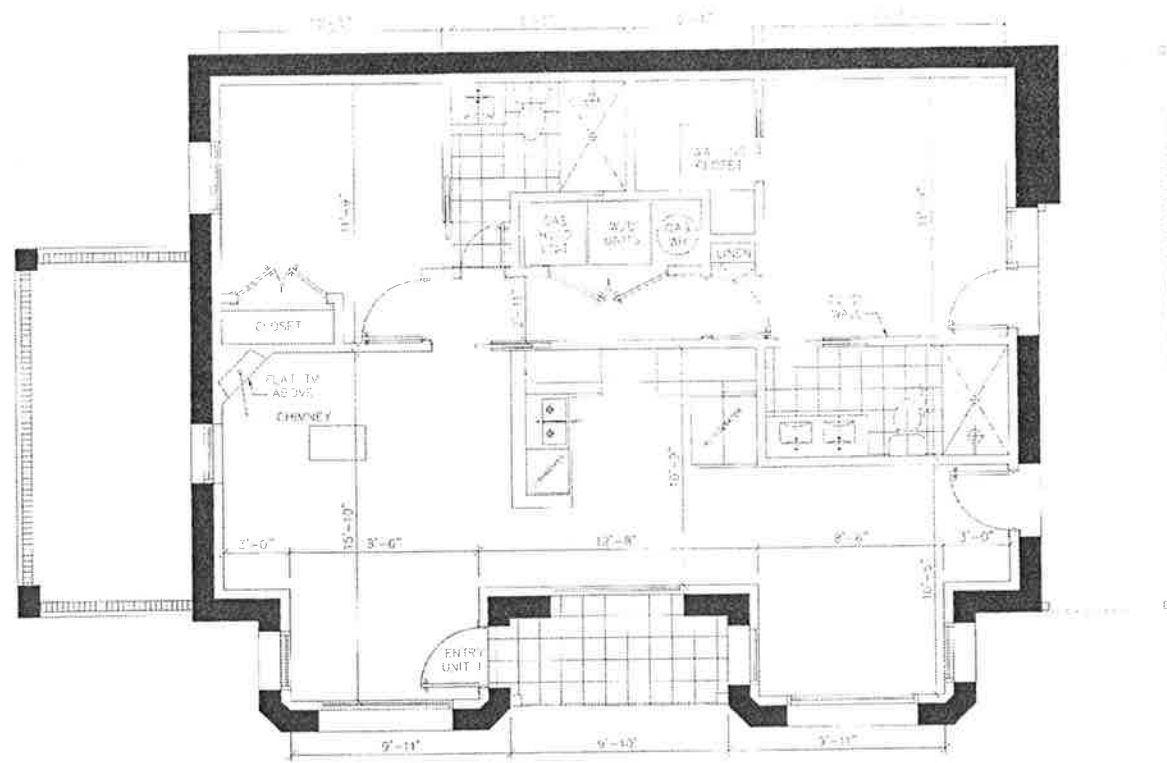
452 NEWTON PLACE, NW

452 NEWTON PLACE, NW
 WASHINGTON, DC 20010
 LOT: 0089 SQUARE 3036

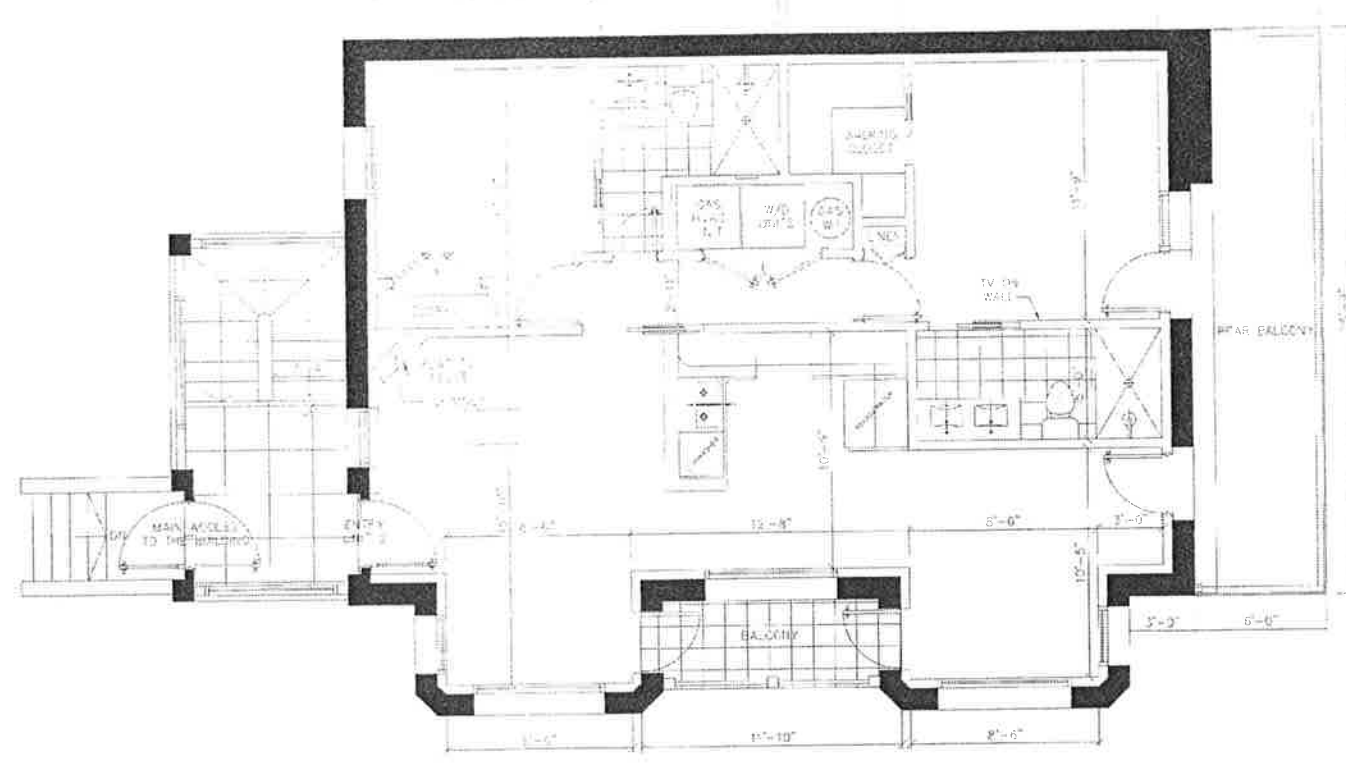


SCALE: AS NOTED
 DATE: 02/05/2015
 PROJECT NUMBER: 452 NEWTON

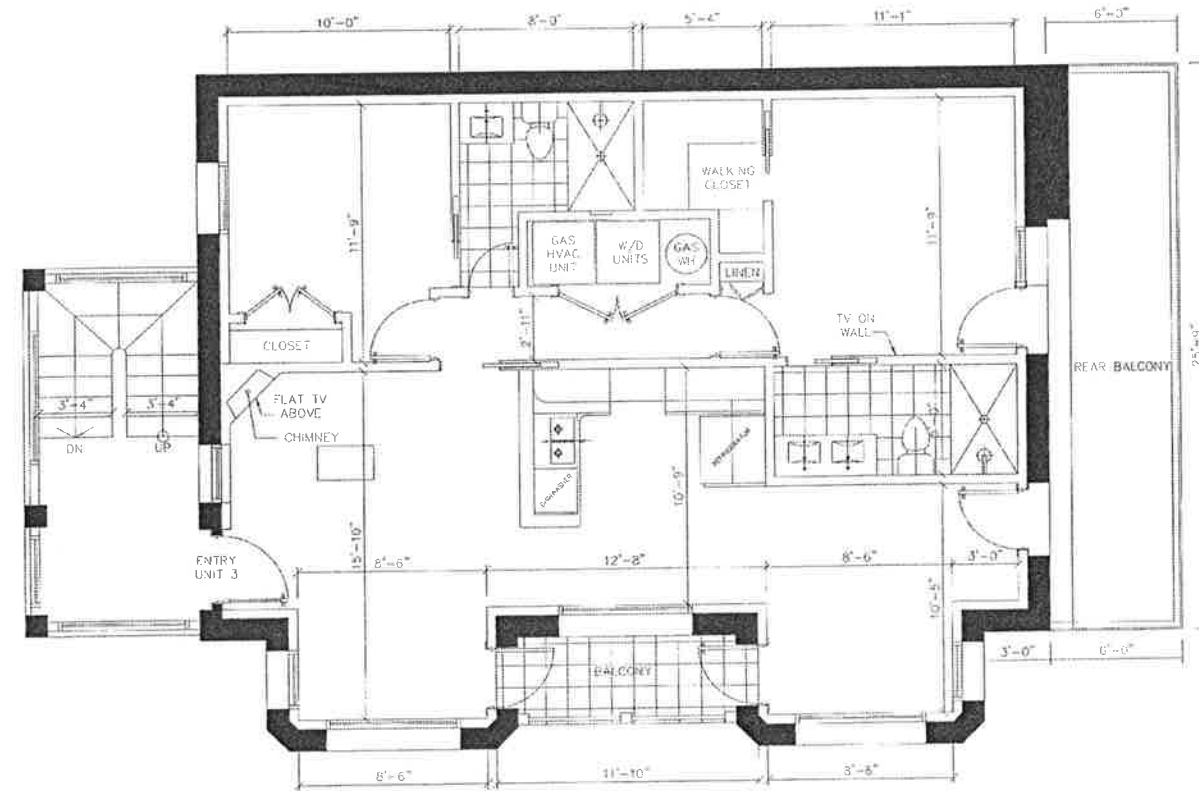
AD0201



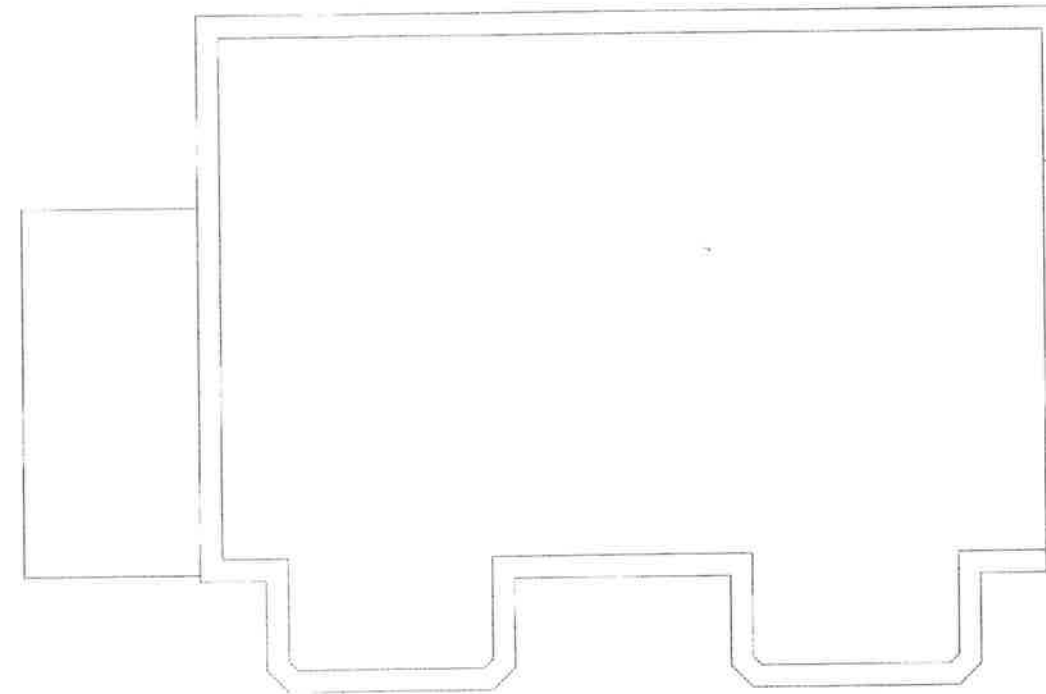
1 CELLAR FLOOR PLAN
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



1 1st FLOOR PLAN
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



1 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



1 ROOF PLAN
SCALE: 1/4" = 1'-0" 24X36 LAYOUT

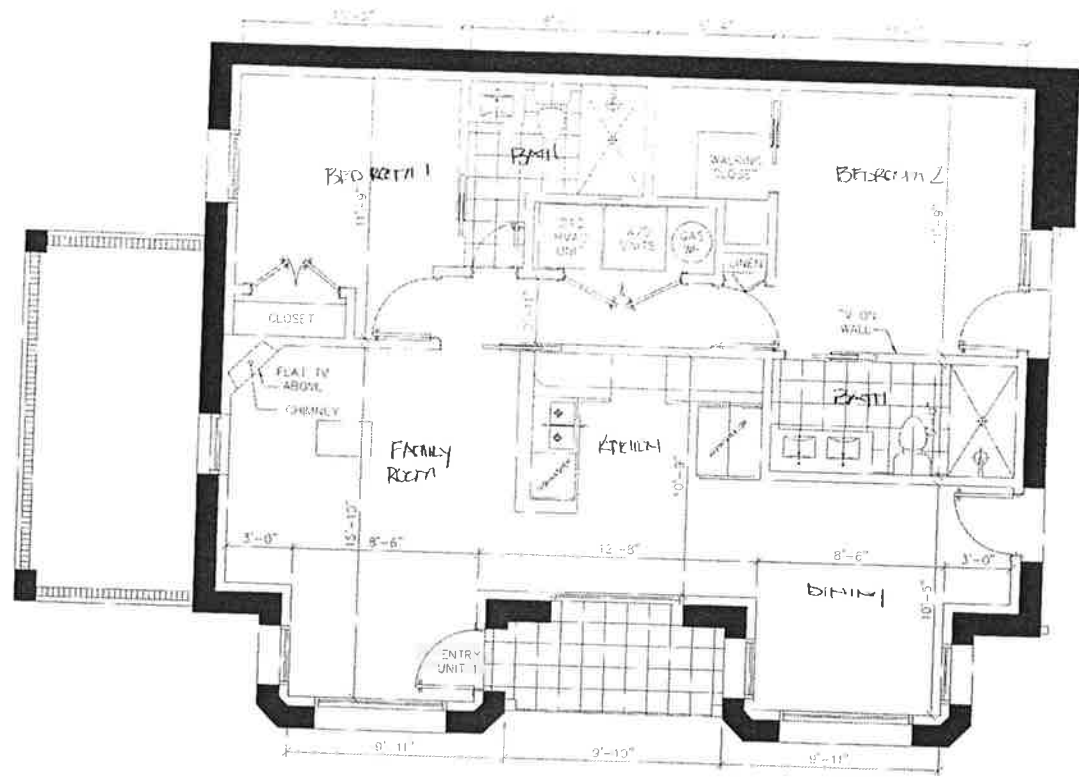
452 NEWTON PLACE, NW

452 NEWTON PLACE, NW
WASHINGTON, DC 20010
LOT:0089 SQUARE 3036

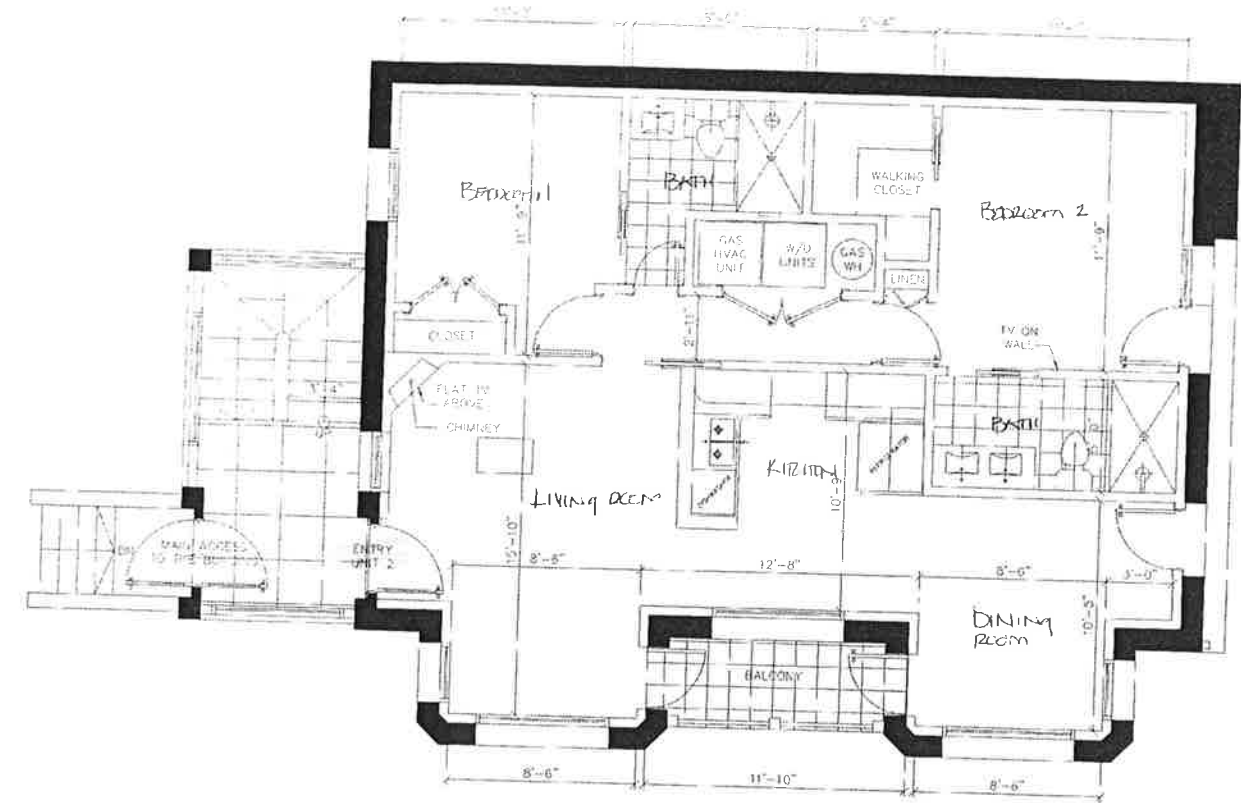


SCALE: AS NOTED
DATE: 02/05/2015
PROJECT NUMBER: 452 NEWTON

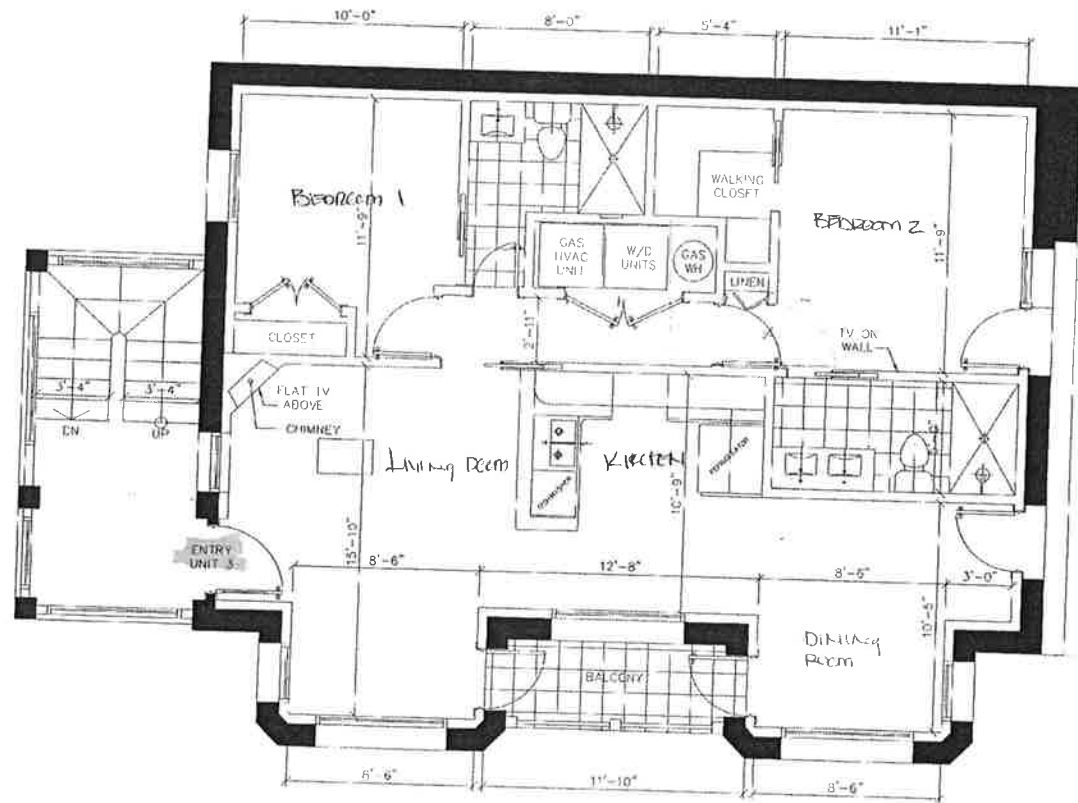
A0101



1 CELLAR FLOOR PLAN
SCALE: 1/4" = 1'-0" 24X36 LAYOUT

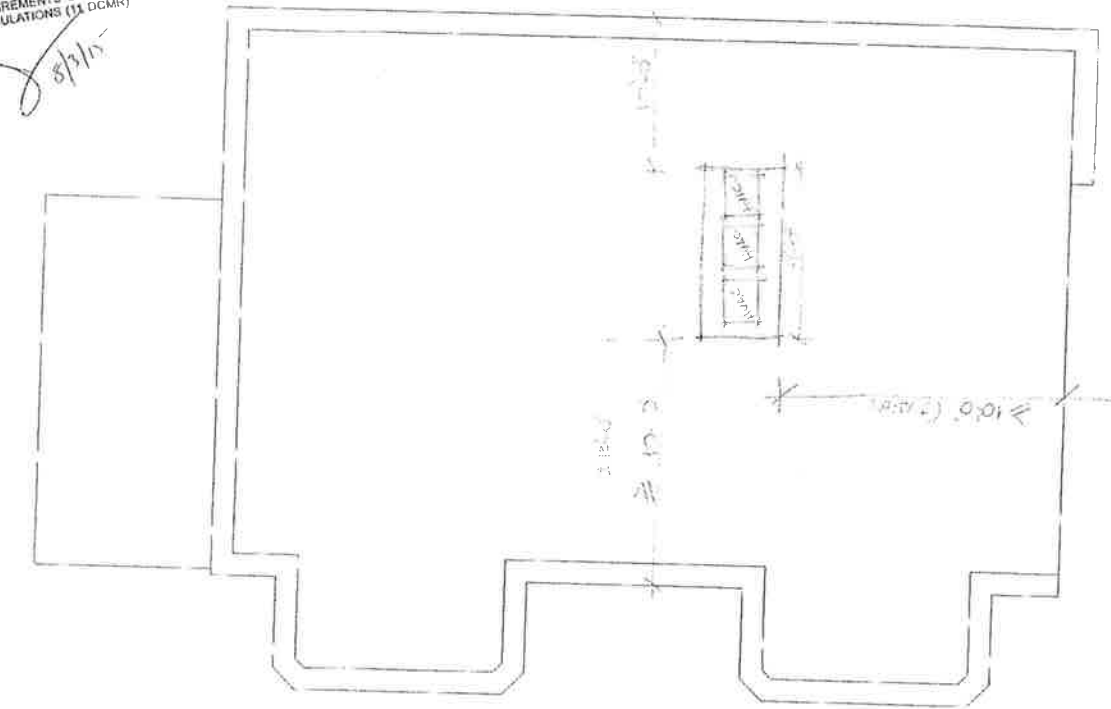


1 1st FLOOR PLAN
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



1 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0" 24X36 LAYOUT

DCRA/OFFICE OF THE ZONING ADMINISTRATOR/COMPLIES WITH THE REQUIREMENTS OF DC ZONING REGULATIONS (11 DCMR)



1 ROOF PLAN
SCALE: 1/4" = 1'-0" 24X36 LAYOUT

452 NEWTON PLACE, NW
452 NEWTON PLACE, NW
WASHINGTON, DC 20010



SCALE: AS NOTED
DATE: 02/05/2015
PROJECT NUMBER: 452 NEW

A0101



1 EXISTING WEST ELEVATION
 SCALE: 1/4" = 1'-0" 24X36 LAYOUT
 SCALE: 1/8" = 1'-0" 11X17 LAYOUT



3 NORTH ELEVATION
 SCALE: 1/4" = 1'-0" 24X36 LAYOUT



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0" 24X36 LAYOUT
 SCALE: 1/8" = 1'-0" 11X17 LAYOUT

452 NEWTON PLACE, NW

452 NEWTON PLACE, NW
 WASHINGTON, DC 20010
 LOT: 0089 SQUARE 3036



SCALE: AS NOTED
 DATE: 02/05/2015
 PROJECT NUMBER: 452 NEWTON

A0201



1 EXISTING WEST ELEVATION
 SCALE: 1/4" = 1'-0" 24X36 LAYOUT
 SCALE: 1/8" = 1'-0" 11X17 LAYOUT



3 NORTH ELEVATION
 SCALE: 1/4" = 1'-0" 24X36 LAYOUT

DCRA/OFFICE OF THE ZONING ADMINISTRATOR COMPLIES WITH THE REQUIREMENTS OF DC ZONING REGULATIONS (11 DCMR)
Y. 8/2/15



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0" 24X36 LAYOUT
 SCALE: 1/8" = 1'-0" 11X17 LAYOUT

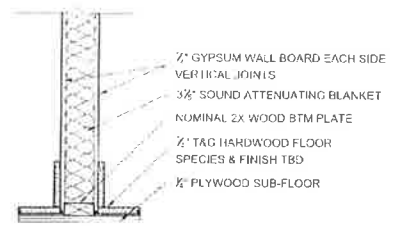
452 NEWTON PLACE, NW

452 NEWTON PLACE, NW
 WASHINGTON, DC 20010
 LOT: 0089 SQUARE 3036

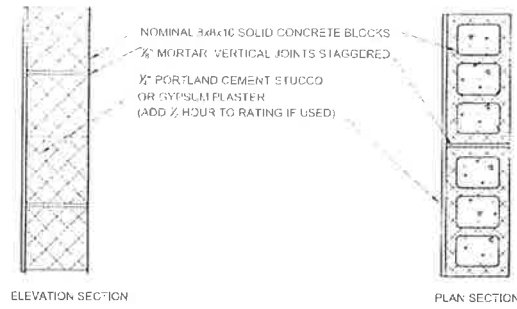


SCALE: AS NOTED
 DATE: 02/05/2015
 PROJECT NUMBER: 452 NEWTON

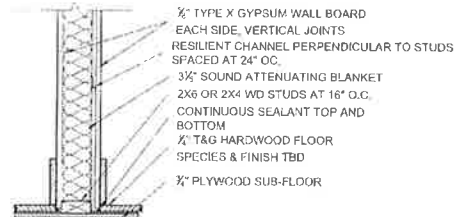
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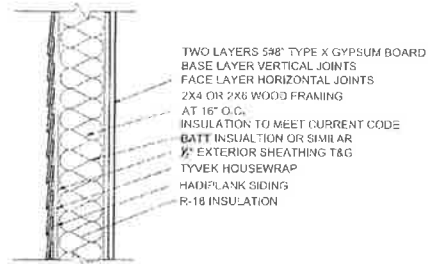
1 NON RATED INTERIOR PARTITION
ANSIUL 263 DESIGN #U419
STC RATING: 44



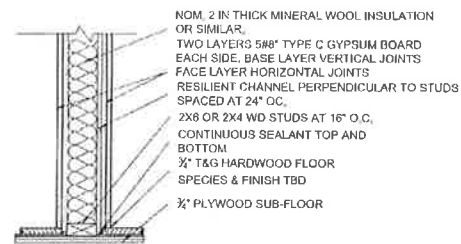
6 2 HR FIRE RATED MASONRY WALL - 8" CMU
ANSIUL 263 DESIGN # U995
STC RATING: 72



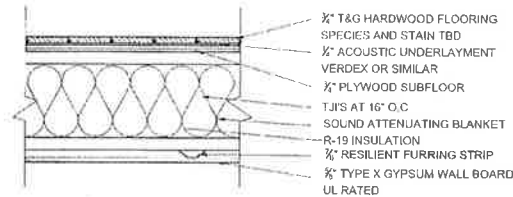
2 1 HR RATED INTERIOR PARTITION
ANSIUL 263 DESIGN #U419
STC RATING: 55



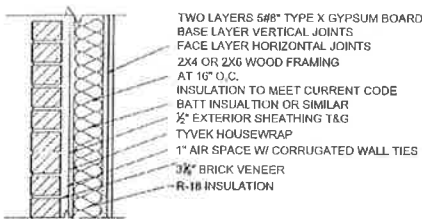
7 1 HR FIRE RATED WALL - CLABOARD SIDING
ANSIUL 263 DESIGN # 418
STC RATING: 55



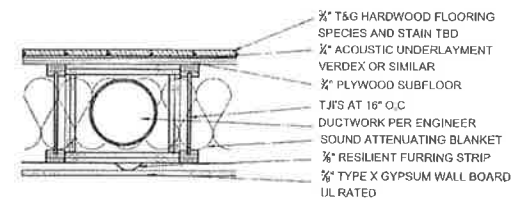
3 2 HR RATED INTERIOR PARTITION
ANSIUL 263 DESIGN #U334
STC RATING: 62



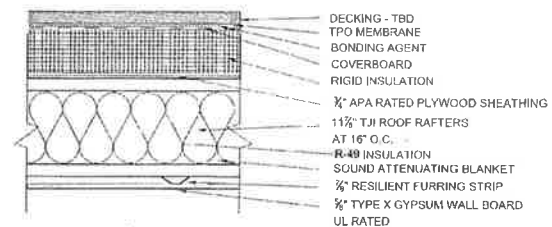
8 1 HR RATED FLOOR ASSEMBLY
ANSIUL 263 DESIGN # UL-L570
STC RATING: 60+



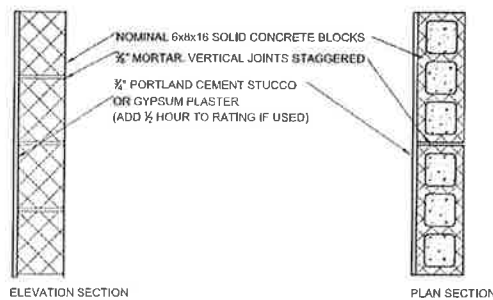
4 2 HR RATED WALL - MASONRY VENEER
ANSIUL 263 DESIGN #U302
STC RATING: 64



9 DUCT IN RATED CEILING
ANSIUL 263 DESIGN # UL-L570
STC RATING: 60+



10 1 HR RATED ROOF ASSEMBLY
ANSIUL 263 DESIGN # UL-L570
STC RATING: 60+



5 2 HR FIRE RATED MASONRY WALL - 6" CMU
ANSIUL 263 DESIGN # U996
STC RATING: 55

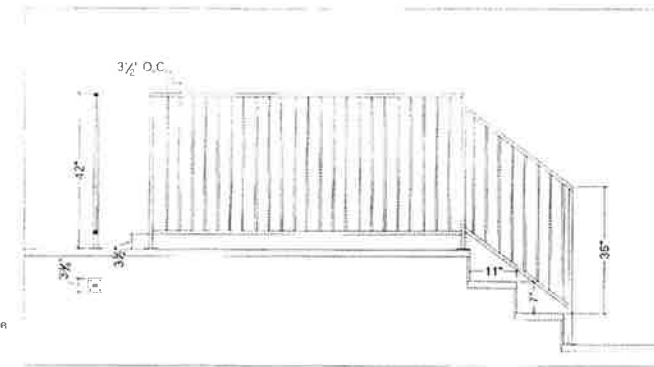
1012.2 Height.
Handrail height, measured above stair tread nosings, or finish surface of ramp slope shall be uniform, not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

1013.2 Height.
Guards shall form a protective barrier not less than 42 inches (1067 mm) high, measured vertically above the leading edge of the tread, adjacent walking surface or adjacent seatboard.

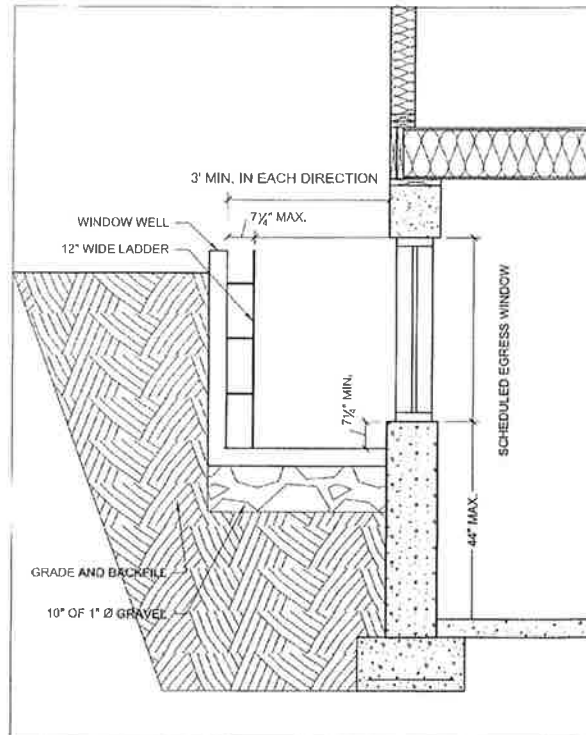
1013.3 Opening limitations.
Open guards shall have balusters or ornamental patterns such that a 4-inch-diameter (102 mm) sphere cannot pass through any opening up to a height of 34 inches (864 mm). From a height of 34 inches (864 mm) to 42 inches (1067 mm) above the adjacent walking surfaces, a sphere 6 inches (203 mm) in diameter shall not pass.

1607.7.1 Handrails and guards.
Handrail assemblies and guards shall be designed to resist a load of 50 plf (0.73 kN/m) applied in any direction at the top and to transfer this load through the supports to the structure.

1607.7.1.1 Concentrated load.
Handrail assemblies and guards shall be able to resist a single concentrated load of 200 pounds (0.89 kN), applied in any direction at any point along the top, and have attachment devices and supporting structure to transfer this loading to appropriate structural elements of the building. This load need not be assumed to act concurrently with the loads specified in the preceding paragraph.



3 GUARD/HAND RAIL TREAD/RISER DETAIL
SCALE: 1/4" = 1'-0"



2 EGRESS WINDOW DETAIL
SCALE: 1/4" = 1'-0"

1026.2 Minimum size.
Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m²).
Exception: The minimum net clear opening for emergency escape and rescue grade-floor openings shall be 5 square feet (0.46 m²).

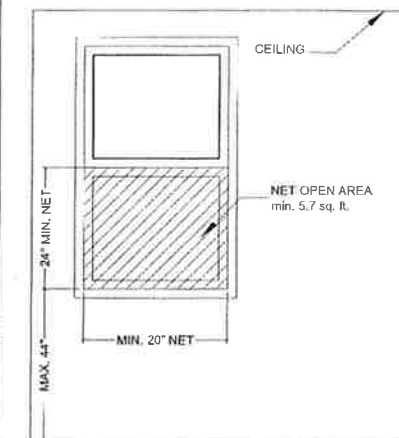
1026.2.1 Minimum dimensions.
The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.

1026.3 Maximum height from floor.
Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches (1118 mm) measured from the finish.

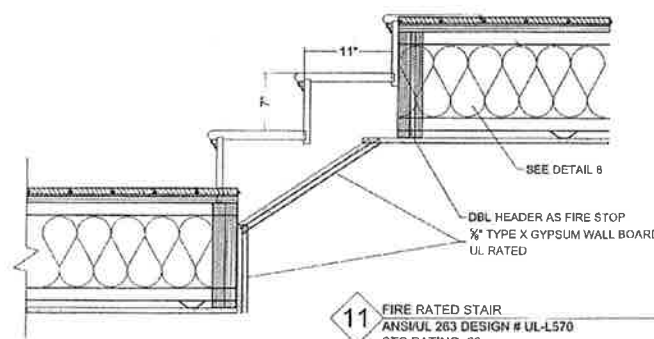
1026.5 Window wells.
An emergency escape and rescue opening with a finished sill height below the adjacent ground level shall be provided with a window well in accordance with Sections 1026.5.1 and 1026.5.2.

1026.5.1 Minimum size.
The minimum horizontal area of the window well shall be 9 square feet (0.84 m²), with a minimum dimension of 36 inches (914 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened.

1026.5.2 Ladders or steps.
Window wells with a vertical depth of more than 44 inches (1118 mm) shall be equipped with an approved permanently affixed ladder or steps. Ladders or rungs shall have an inside width of at least 12 inches (305 mm), shall project at least 3 inches (76 mm) from the wall and shall be spaced not more than 18 inches (457 mm) on center (o.c.) vertically for the full height of the window well. The ladder or steps shall not encroach into the required dimensions of the window well by more than 6 inches (152 mm). The ladder or steps shall not be obstructed by the emergency escape and rescue opening. Ladders or steps required by this section are exempt from the stairway requirements of Section 1009.



*WHERE MECH DUCTS/VENT SHOWN ON PLANS BETWEEN JOISTS, PROVIDE GWS SURROUND ON 5 SIDES OF SPACE CONTAINING DUCT IN THICKNESS & LAYER(S) EQUAL TO SCHEDULED ASSEMBLY LAYERS



11 FIRE RATED STAIR
ANSIUL 263 DESIGN # UL-L570
STC RATING: 60+

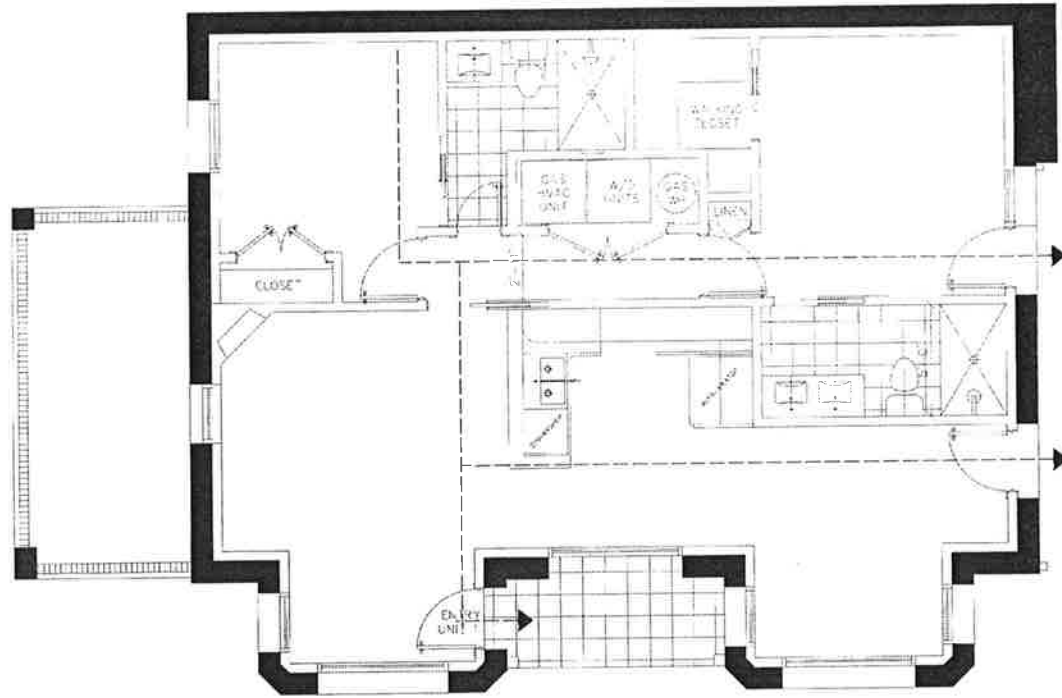
452 NEWTON PLACE, NW

452 NEWTON PLACE, NW
WASHINGTON, DC 20010
LOT: 0089 SQUARE 3036

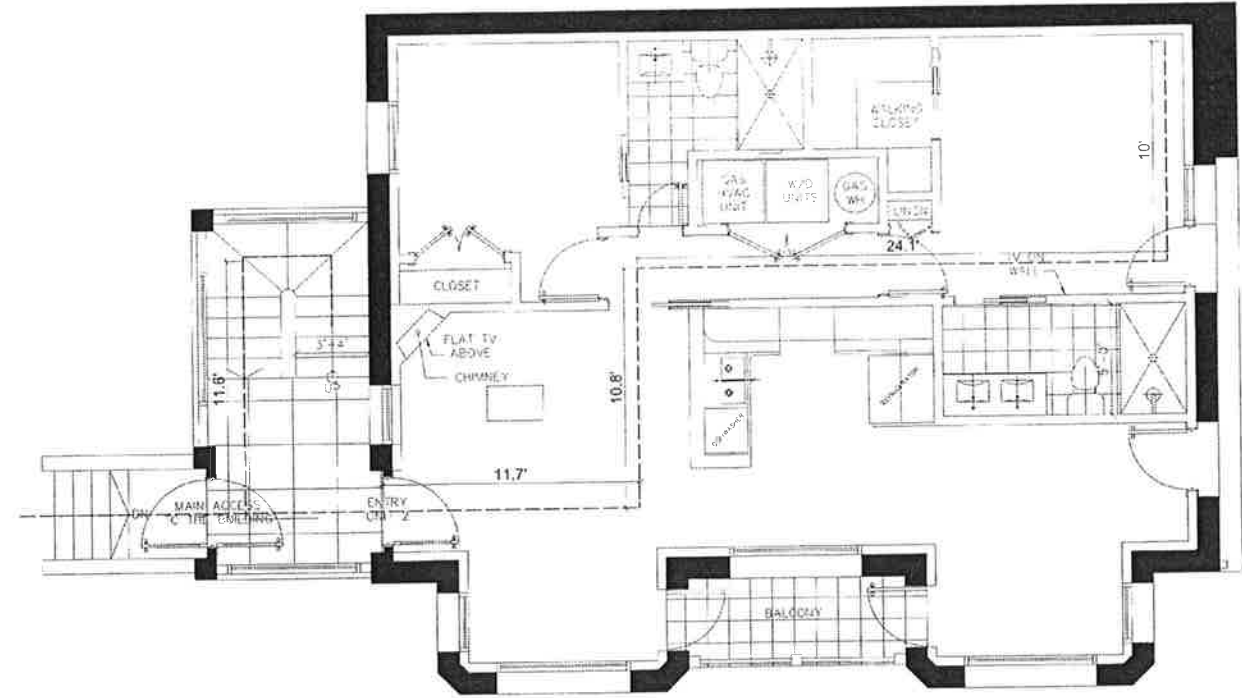


SCALE: AS NOTED
DATE: 02/05/2015
PROJECT NUMBER: 452 NEWTON

A0501

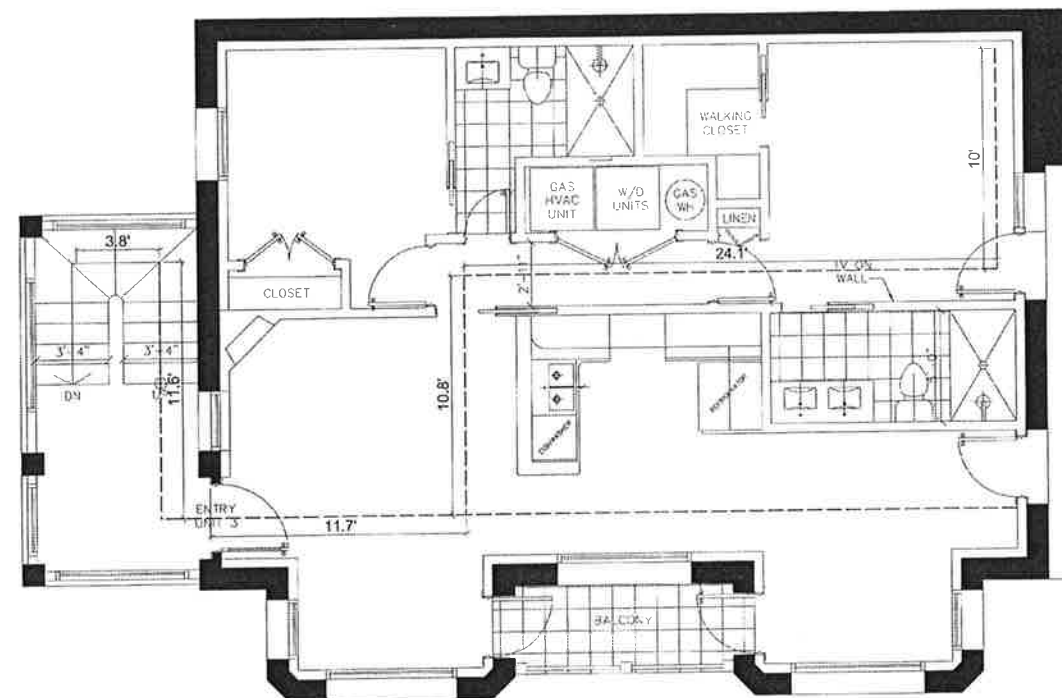


1 CELLAR FLOOR PLAN - EGRESS
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



TRAVEL DISTANCE
10 + 24.1 + 10.8 + 11.7 = 56.6

1 1st FLOOR PLAN - EGRESS
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



TRAVEL DISTANCE
10 + 24.1 + 10.8 + 11.7 = 56.6

1 2nd FLOOR PLAN - EGRESS
SCALE: 1/4" = 1'-0" 24X36 LAYOUT

452 NEWTON PLACE, NW

452 NEWTON PLACE, NW
WASHINGTON, DC 20010
LOT: 0089 SQUARE 3036



SCALE: AS NOTED
DATE: 02/05/2015
PROJECT NUMBER: 452 NEWTC

A0502

452 NEWTON PLACE, NW

452 NEWTON PLACE, NW
WASHINGTON, DC 20010
LOT:0089 SQUARE 3036

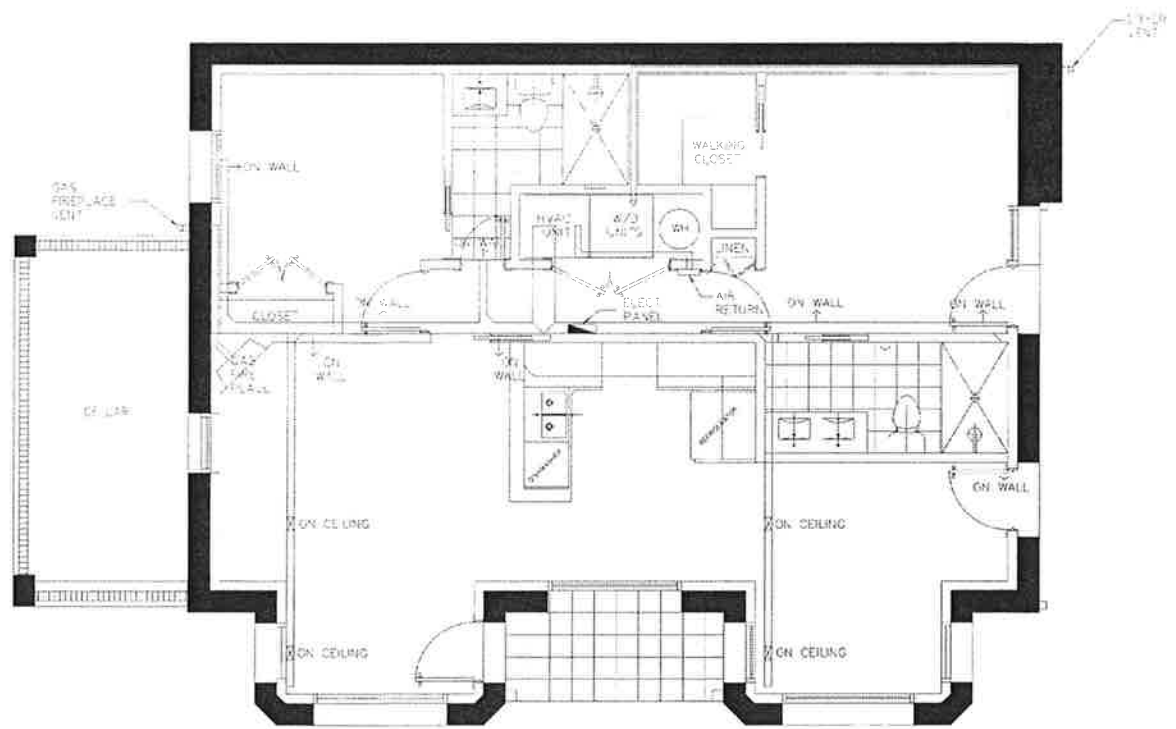


SCALE: AS NOTED
DATE: 02/05/2015
PROJECT NUMBER: 452 NEWTON

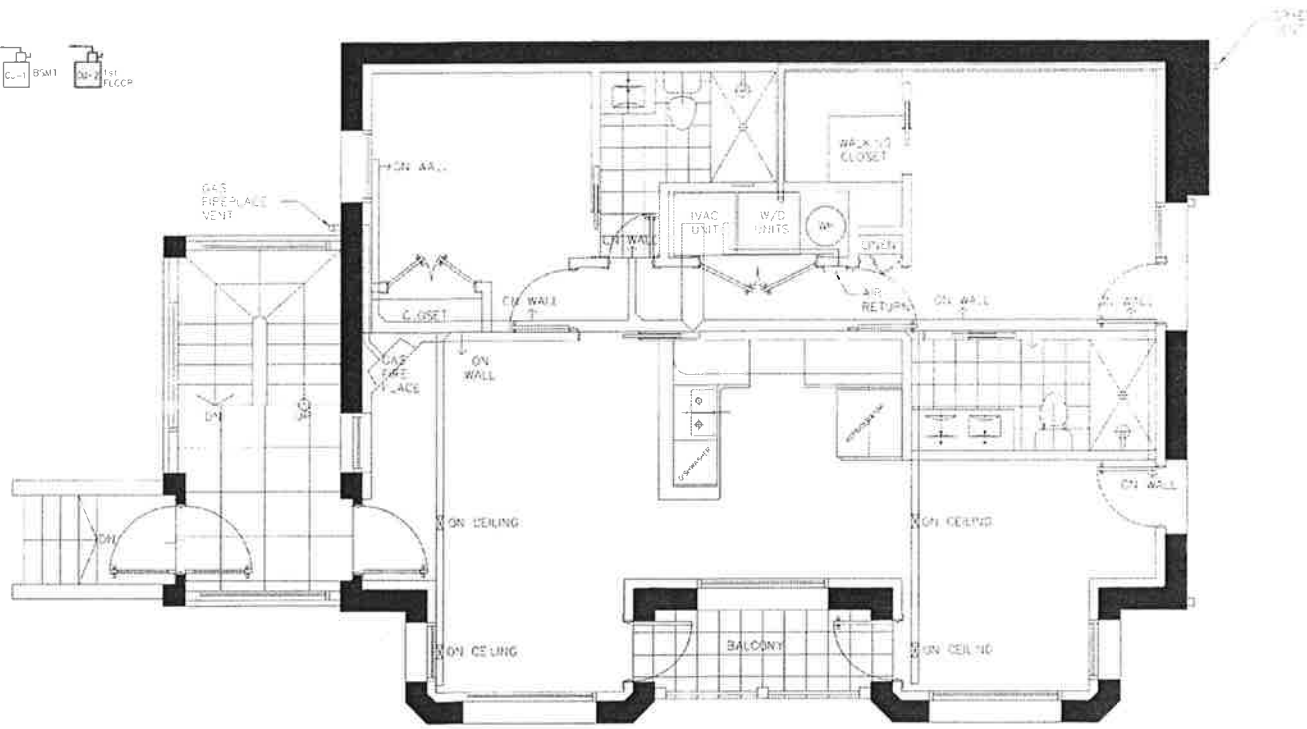
S0100

1. ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT AND THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION. A MINIMUM OF 14 DAYS NOTICE SHALL BE GIVEN TO THE ARCHITECT AND THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION. MATERIALS SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING:

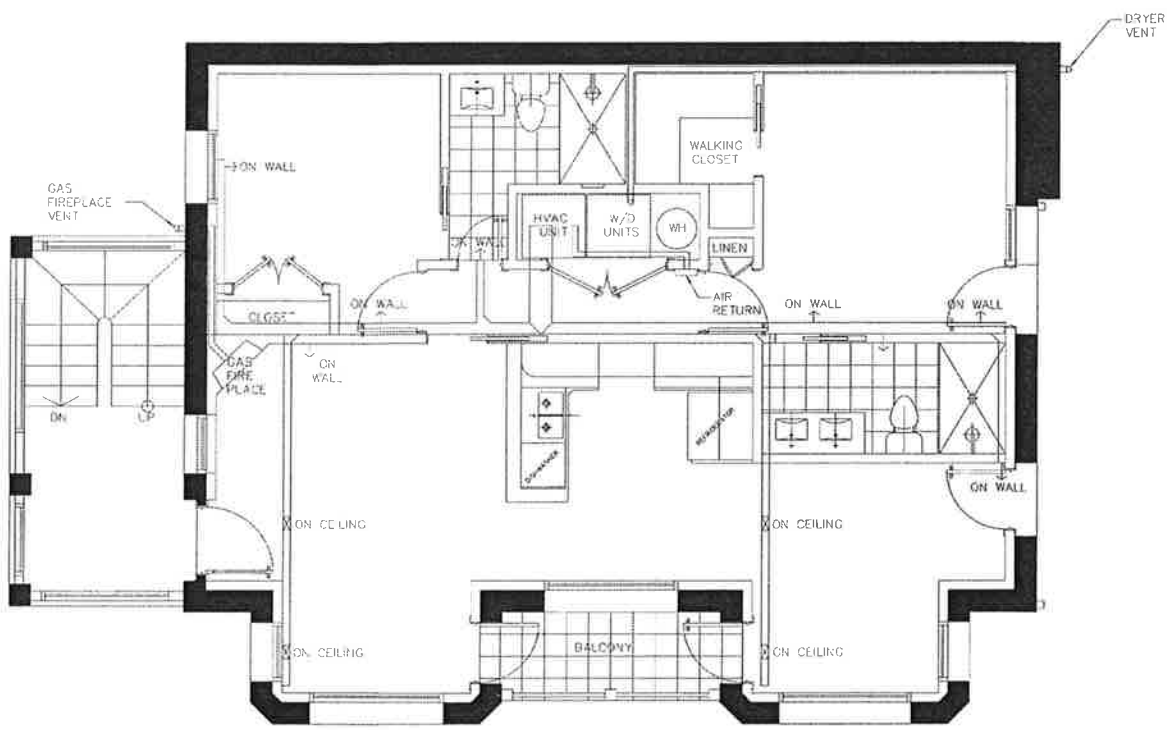
CONCRETE: ASTM C-39, C-109, C-150, C-192, C-215, C-231, C-267, C-418, C-494, C-541, C-568, C-591, C-672, C-685, C-709, C-733, C-754, C-773, C-787, C-803, C-827, C-847, C-872, C-896, C-909, C-943, C-974, C-993, C-1028, C-1063, C-1088, C-1107, C-1131, C-1155, C-1179, C-1203, C-1218, C-1242, C-1267, C-1291, C-1315, C-1339, C-1363, C-1387, C-1411, C-1435, C-1459, C-1483, C-1507, C-1531, C-1555, C-1579, C-1603, C-1627, C-1651, C-1675, C-1699, C-1723, C-1747, C-1771, C-1795, C-1819, C-1843, C-1867, C-1891, C-1915, C-1939, C-1963, C-1987, C-2011, C-2035, C-2059, C-2083, C-2107, C-2131, C-2155, C-2179, C-2203, C-2227, C-2251, C-2275, C-2299, C-2323, C-2347, C-2371, C-2395, C-2419, C-2443, C-2467, C-2491, C-2515, C-2539, C-2563, C-2587, C-2611, C-2635, C-2659, C-2683, C-2707, C-2731, C-2755, C-2779, C-2803, C-2827, C-2851, C-2875, C-2899, C-2923, C-2947, C-2971, C-2995, C-3019, C-3043, C-3067, C-3091, C-3115, C-3139, C-3163, C-3187, C-3211, C-3235, C-3259, C-3283, C-3307, C-3331, C-3355, C-3379, C-3403, C-3427, C-3451, C-3475, C-3499, C-3523, C-3547, C-3571, C-3595, C-3619, C-3643, C-3667, C-3691, C-3715, C-3739, C-3763, C-3787, C-3811, C-3835, C-3859, C-3883, C-3907, C-3931, C-3955, C-3979, C-4003, C-4027, C-4051, C-4075, C-4099, C-4123, C-4147, C-4171, C-4195, C-4219, C-4243, C-4267, C-4291, C-4315, C-4339, C-4363, C-4387, C-4411, C-4435, C-4459, C-4483, C-4507, C-4531, C-4555, C-4579, C-4603, C-4627, C-4651, C-4675, C-4699, C-4723, C-4747, C-4771, C-4795, C-4819, C-4843, C-4867, C-4891, C-4915, C-4939, C-4963, C-4987, C-5011, C-5035, C-5059, C-5083, C-5107, C-5131, C-5155, C-5179, C-5203, C-5227, C-5251, C-5275, C-5299, C-5323, C-5347, C-5371, C-5395, C-5419, C-5443, C-5467, C-5491, C-5515, C-5539, C-5563, C-5587, C-5611, C-5635, C-5659, C-5683, C-5707, C-5731, C-5755, C-5779, C-5803, C-5827, C-5851, C-5875, C-5899, C-5923, C-5947, C-5971, C-5995, C-6019, C-6043, C-6067, C-6091, C-6115, C-6139, C-6163, C-6187, C-6211, C-6235, C-6259, C-6283, C-6307, C-6331, C-6355, 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1 CELLAR FLOOR PLAN - MECHANICAL
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



2 1ST FLOOR PLAN - MECHANICAL
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



3 2ND FLOOR PLAN - MECHANICAL
SCALE: 1/4" = 1'-0" 24X36 LAYOUT

These drawings have been reviewed for compliance with the applicable provisions of the DC Construction Code and are complete. Final approval is subject to the final inspection.

Structural
 Foundation
 Framing
 Mechanical
 Electrical
 Plumbing

These drawings have been reviewed for compliance with the applicable provisions of the DC Construction Code and are complete. Final approval is subject to the final inspection.

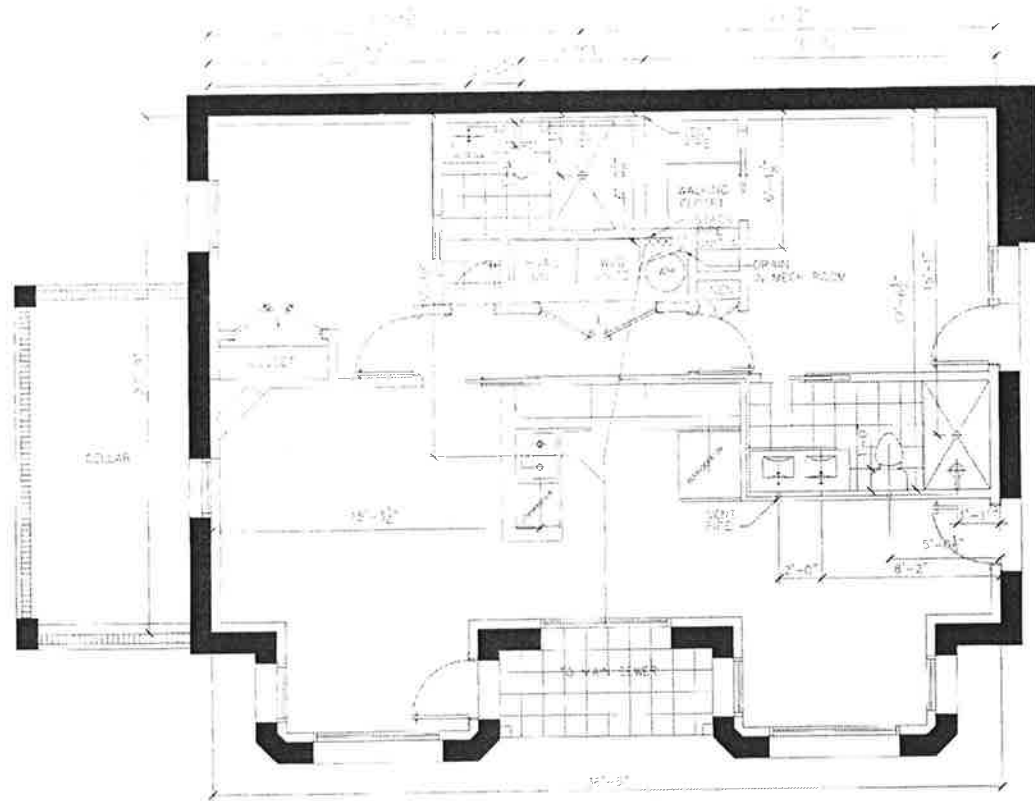
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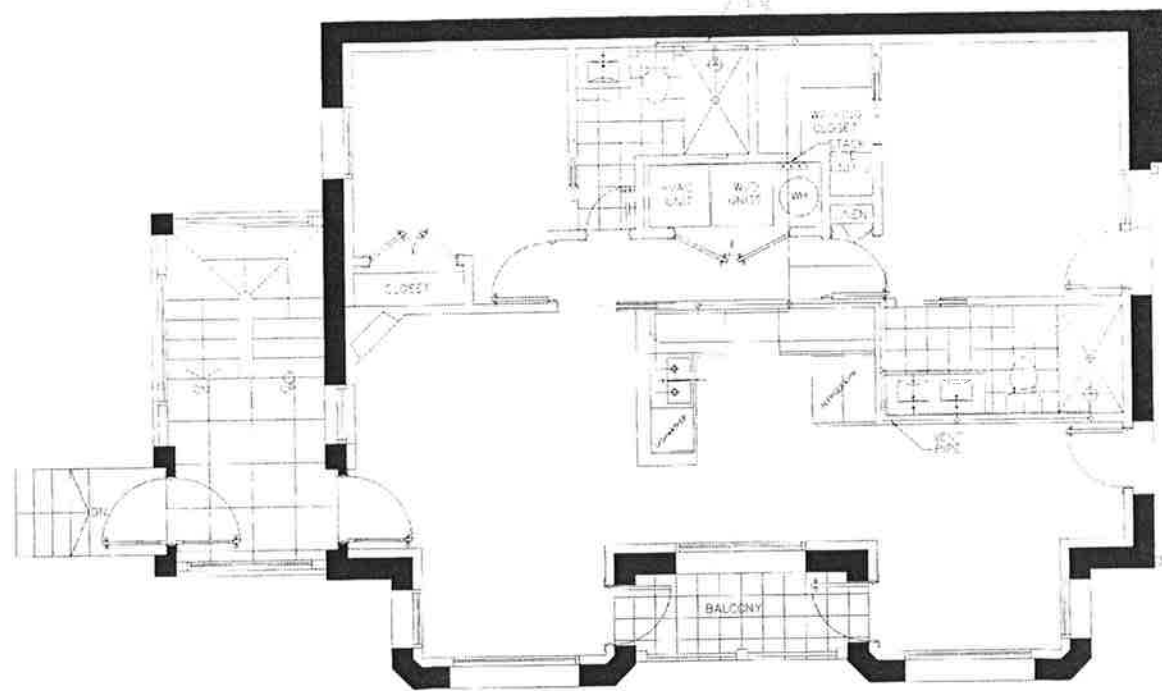


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PROJECT NUMBER: 452 NEWTON

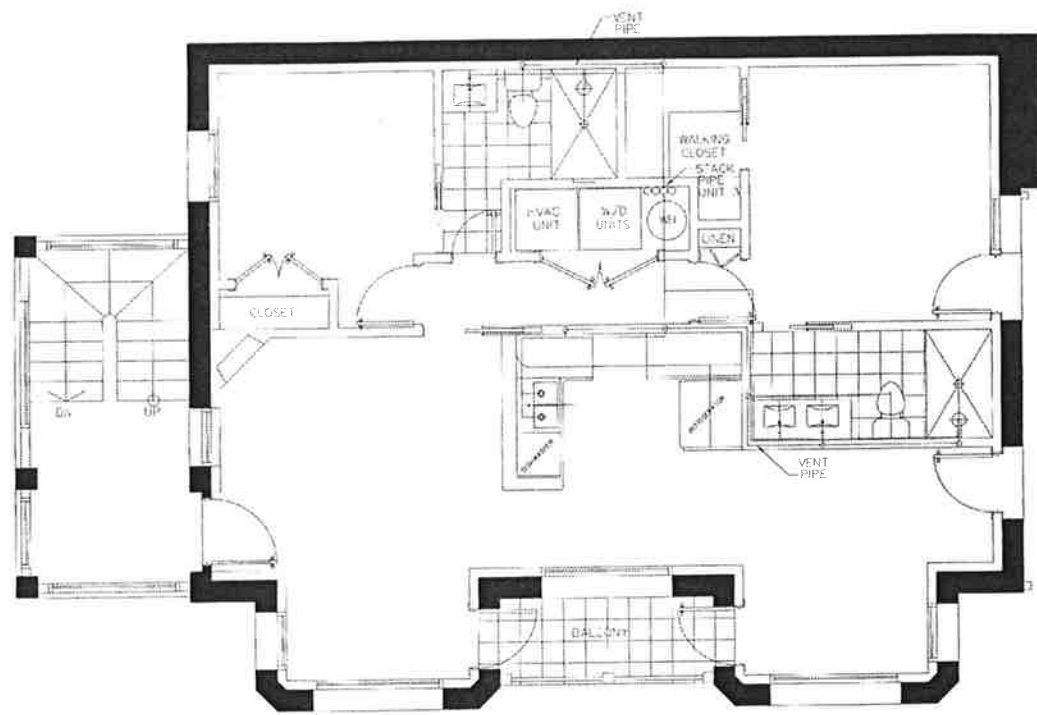
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1 CELLAR FLOOR PLAN - MECHANICAL
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



2 1ST FLOOR PLAN - MECHANICAL
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



3 2ND FLOOR PLAN - MECHANICAL
SCALE: 1/4" = 1'-0" 24X36 LAYOUT

These drawings have been reviewed for compliance with the applicable provisions of the DC Code and the DC Rules of Professional Conduct. Final approval is subject to the review of the Board of Engineers and Surveyors.

Structural
 Mechanical
 Electrical
 Plumbing
 Fire Protection
 Other

K. J. ...

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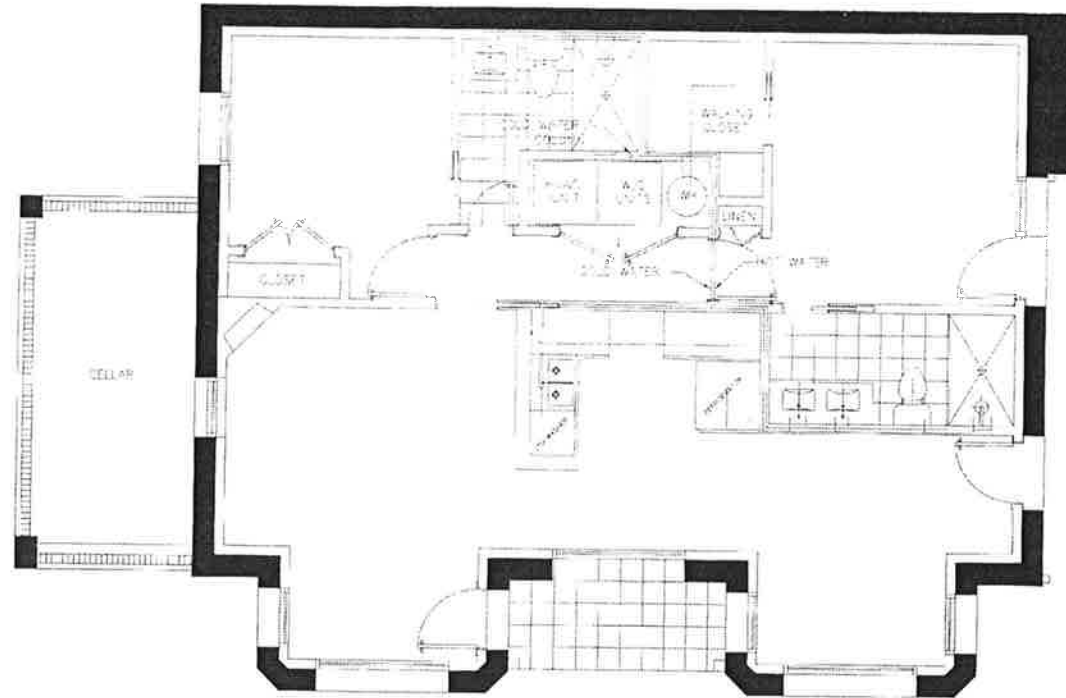
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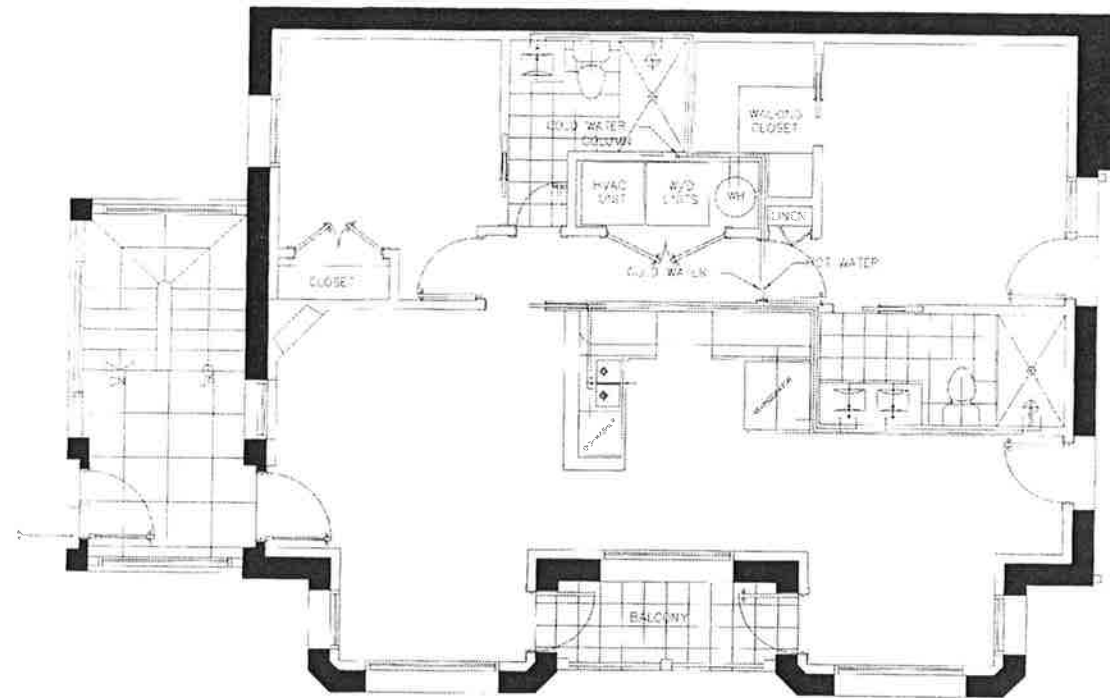
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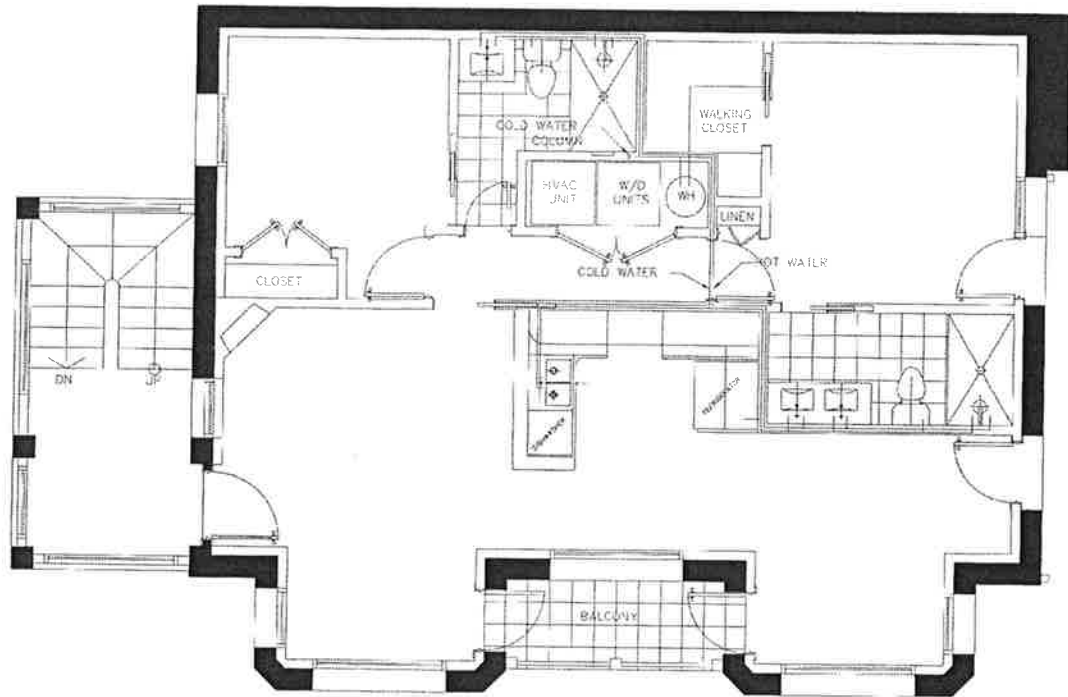
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1 CELLAR FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



2 1ST FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



3 2ND FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0" 24X36 LAYOUT

These drawings have been reviewed for their compliance with the provisions of the District of Columbia Code. Final approval is subject to the District Engineer's review.

Approved Rejected

Checked Rechecked

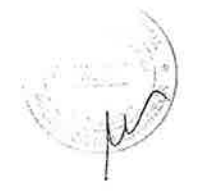
[Signature]

These drawings have been reviewed for their compliance with the provisions of the District of Columbia Code. Final approval is subject to the District Engineer's review.

[Signature]

452 NEWTON PLACE, NW

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WASHINGTON, DC 20010
LOT: 0089 SQUARE 3036



SCALE: AS NOTED
DATE: 02/05/2015
PROJECT NUMBER: 452 NEWTON

P0102

ELECTRICAL GENERAL NOTES

- IT IS THE INTENT OF THESE DRAWINGS AND OTHER RELATED DOCUMENTS TO PROVIDE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TESTS AND OTHER SERVICES AS MAY BE NECESSARY TO ACHIEVE THIS PRODUCT. THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF THE PLANS AS AN ADEQUATE DEFINITION OF THE SCOPE OF WORK AND EXTRA COST CLAIMS BASED ON DISCREPANCIES ON THE PLANS WILL NOT BE CONSIDERED.
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES HAVING JURISDICTION. ALL EQUIPMENT, DEVICES, AND MATERIAL SHALL BE LISTED WITH UNDERWRITERS LABORATORIES FOR ITS APPLICATION AS INSTALLED AND SHALL BEAR THE UL LABEL.
- THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY SUCH FEES AS MAY BE NECESSARY FOR INSPECTIONS, TESTS, AND OTHER SERVICES WHICH ARE REQUIRED FOR THE COMPLETION OF HIS WORK.
- THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE CONDITIONS OF THE PREMISES AND THE CHARACTER AND EXTENT OF WORK REQUIRED PRIOR TO SUBMISSION OF BIDS. ANY DIFFICULTIES IN COMPLYING WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT BEFORE BIDDING.
- ELECTRICAL PLANS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS.
- CONSULT PLANS OF ALL OTHER TRADES FOR COORDINATION AND FOR RELATED AND ADJOINING WORK.
- CONSULT ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR CONSTRUCTION TYPE, HEADROOM, ROOM FINISHES, CEILINGS, ETC.
- SEE REFLECTED CEILING PLAN FOR EXACT LOCATION OF LIGHT FIXTURES.
- CIRCUIT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY SPACING THE CIRCUITS IN THE PANEL AND BALANCE THE LOAD ON THE PHASES UNDER NORMAL OPERATING CONDITIONS.
- SHOP DRAWINGS FOR ALL ELECTRICAL EQUIPMENT, FIXTURES, DEVICES AND MATERIALS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE DELIVERY TO THE JOB SITE. EQUIPMENT, FIXTURES, DEVICES, AND MATERIAL DELIVERED TO THE JOB SITE OR INSTALLED PRIOR TO APPROVAL OF THE SHOP DRAWINGS, AND FOR WHICH THE SHOP DRAWINGS ARE SUBSEQUENTLY REJECTED, SHALL BE REPLACED WITH AN APPROVED ITEM AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY WIRE SIZES, C/B AND FUSE RATINGS FOR ALL HVAC EQUIPMENT, AND BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES AFFECTING THE WORK PRIOR TO PROCEEDING.
- ALL WORK SHALL BE DONE AT SUCH TIMES AND IN SUCH A MANNER AS WILL LEAST INTERFERE WITH THE MAINTENANCE AND OPERATION OF ALL RELATED OR AFFECTED SYSTEM. ALL POWER OUTAGES, FIRE ALARM SHUT DOWNS, ETC., SHALL BE COORDINATED WITH OWNER.
- CONTRACTOR SHALL VERIFY THAT ALL DOOR SWINGS ARE CORRECT BEFORE INSTALLING LIGHT SWITCH OUTLETS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SIZING OF ALL MOTOR OVERLOAD DEVICES (HEATERS) IN STARTERS BASED ON ACTUAL NAMEPLATE RATINGS ON THE MOTORS BEING INSTALLED.
- HORSEPOWER RATINGS INDICATED ON DRAWINGS MAY DIFFER FROM ACTUAL EQUIPMENT FURNISHED. IF FURNISHED EQUIPMENT DIFFERS FROM RATINGS ON DRAWINGS, CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER FOR APPROPRIATE ACTION TO BE TAKEN.
- CONTRACTOR SHALL NOTE UL LABELS ON PACKAGED TYPE MECHANICAL EQUIPMENT. IF UL LABEL ON MECHANICAL EQUIPMENT DOES NOT ACTUALLY BE INSTALLED CALLS FOR THE OVERCURRENT PROTECTIVE DEVICE TO BE FUSES, THE ELECTRICAL CONTRACTOR SHALL PROVIDE A FUSED DISCONNECT SWITCH WITH PROPER SIZE FUSES AT THE SWITCH LOCATION INDICATED ON DRAWINGS AT NO ADDITIONAL CHARGE TO THE OWNER.

- THE ELECTRICAL CONTRACTOR SHALL VERIFY THE TYPE OF CEILING SYSTEM WITH THE GENERAL CONTRACTOR OR CEILING CONTRACTOR TO INSURE THAT ALL RECESSED LIGHTING FIXTURES ARE COMPATIBLE WITH THE CEILING SYSTEM BEING INSTALLED. LIGHTING FIXTURES SHOULD NOT BE ORDERED UNTIL TYPE OF CEILING HAS BEEN VERIFIED.
- LIGHTING FIXTURES INSTALLED IN SUSPENDED CEILINGS SHALL BE SUPPORTED DIRECTLY FROM THE BUILDING STRUCTURE.
- THE CORRECT NUMBER OF WIRES MAY NOT BE INDICATED FOR ALL CIRCUITS, ONLY THOSE WHERE CLARIFICATION IS NECESSARY. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL WIRES NECESSARY FOR THE PROPER FUNCTION OF THE SYSTEM WHETHER INDICATED ON DRAWINGS OR NOT.
- ALL EMPTY CONDUIT RUNS IN EXCESS OF 10 FEET SHALL BE PROVIDED WITH A PULL WIRE OF FISH TAPE/CORD.
- ALL CONDUCTORS, RACEWAYS AND CABLES SHALL BE CONCEALED IN CEILING OR WALL UNLESS INDICATED OTHERWISE.
- ALL CONDUITS SHALL BE GROUNDED PER NEC. CONDUITS ENTERING THE OUTLET BOXES, PANEL CABINETS, ETC., MUST BE FITTED WITH A DOUBLE LOCKNUT AND BUSHING.
- PROVIDE RIGID STEEL, THREADED, THICK WALL CONDUIT, GALVANIZED OR EMT FOR ALL PANEL FEEDERS, AND ALL EXPOSED WIRING IN UNFINISHED AREAS.
- ALL WIRE RACEWAYS IN OR PASSING THROUGH CONCRETE WALLS, SLABS, OR UNDERGROUND SHALL BE GALVANIZED RIGID STEEL THREADED CONDUIT.

WIRES AND CABLES

- ALL WIRE AND CABLE SHALL BE COPPER WITH THHN/THWN INSULATION AND ALL WIRE SIZES ARE BASED ON COPPER CONDUCTORS WITH 75°C INSULATION UNLESS INDICATED OTHERWISE. ALL CONNECTORS, LUGS, ETC. SHALL BE LISTED FOR 75°C.
- PROVIDE WIRING NOT SMALLER THAN #12 AWG FOR THE POWER DISTRIBUTION, AND NOT SMALLER THAN #14 AWG FOR THE FIRE ALARM SYSTEM.
- ALL CIRCUITS 120/200 VOLT OVER 100 FEET AND ALL 277/480 VOLT CIRCUITS OVER 200 FEET FROM PANEL TO FIRST OUTLET SHALL HAVE CONDUCTORS ONE SIZE LARGER THAN NORMALLY REQUIRED WHETHER INDICATED ON PANEL SCHEDULE OR NOT.
- CONDUCTORS INSTALLED UNDERGROUND OR IN THE WET LOCATIONS SHALL BE UL LISTED PER NEC, AND SHALL BE SUITABLE FOR WET LOCATIONS.

ELECTRICAL BOXES AND FITTINGS

- ALL BOXES AND FITTINGS SHALL BE OF CODE-GAUGE STEEL.
- JUNCTION AND PULL BOXES: PROVIDE GALVANIZED CODE-GAUGE STEEL JUNCTION AND PULL BOXES WITH SCREW-ON COVER OF TYPES, SHAPES AND SIZES TO SUIT EACH RESPECTIVE LOCATION AND INSTALLATION, WITH WELDED SEAMS AND EQUIPPED WITH STAINLESS STEEL NUTS, SCREWS, AND WASHERS.
- PROVIDE WEATHERPROOF OUTLETS FOR INTERIOR AND EXTERIOR LOCATIONS EXPOSED TO WEATHER OR MOISTURE.
- ALL PULL BOXES SHALL BE FABRICATED FROM #12 OR HEAVIER GAUGE GALVANIZED STEEL AS REQUIRED BY THE NEC, AND SHALL BE EQUIPPED WITH SCREW FASTENED COVER.

WIRING DEVICES

- PROVIDE DUPLEX, SPECIFICATION GRADE RECEPTACLES 2 POLE, 3 WIRE GROUNDING WITH GREEN HEXAGONAL EQUIPMENT GROUND SCREWS, GROUND TERMINALS AND POLES INTERNALLY CONNECTED TO MOUNTING YOKE, 20 AMPERES, 125 VOLTS, WITH METAL PLASTER EARS, SIDE WIRING, NEMA CONFIGURATION 5-20R.

- SWITCHES, 20 AMPS, 125/277 VOLTS, WITH MOUNTING YOKE INSULATED FROM MECHANISM, EQUIPPED WITH PLASTER EARS, SWITCH HANDLE, AND SIDE WIRED SCREW TERMINALS.
- ALL SWITCHES AND RECEPTACLES SHALL BE OF IVORY COLOR.
- ALL DEVICES INSTALLED IN THE LOCATION EXPOSED TO AMBIENT CONDITIONS SHALL BE WEATHERPROOFED.

PANELBOARDS

- ALL PANELBOARDS MUST BE OF COPPER BUS ONLY.
- PANELBOARD ENCLOSURES: PROVIDE GALVANIZED SHEET STEEL CABINET, CODE-GAUGE, MINIMUM 25-GAUGE THICKNESS, CONSTRUCT WITH MULTIPLE HINGED DOORS AND WIRING CUTTERS. PROVIDE FRONTS WITH ADJUSTABLE TRIM CLAMPS, AND DOORS WITH CONCEALED PIANO DOOR HINGES AND DOOR SWINGS AS INDICATED. EQUIPMENT WITH INTERIOR CIRCUIT DIRECTORY FRAME AND CARD WITH CLEAR PLASTIC COVERING. PROVIDE BAKED GRAY ENAMEL FINISH OVER A RUST INHIBITOR COATING. DESIGN ENCLOSURES FOR RECESSED MOUNTING. PROVIDE ENCLOSURES WHICH ARE FABRICATED BY SAME MANUFACTURERS AS PANELBOARDS WHICH MATE AND MATCH PROPERLY WITH PANEL BOARD TO THE ENCLOSED.
- CABINETS FOR DISTRIBUTION PANELS SHALL HAVE 6" OF GUTTER SPACE ON ALL SIDES AROUND PANELBOARDS AND LIGHTING PANELS HAVE A MINIMUM OF 3" ON ALL SIDES THROUGH PANELBOARD.
- ALL PANELBOARDS SHALL BE EQUIPPED WITH COMMON KEYED LOCKS. PROVIDE MINIMUM OF ONE KEY PER PANEL PLUS (6) SPARES.
- NEW PANELBOARDS SHALL BE AS INDICATED ON THE DRAWINGS, WITH BOLT-ON MOLDED CASE CIRCUIT BREAKERS AND COPPER BUS BARS. CIRCUIT BREAKERS AND INTERIORS SHALL BE OF THE SAME MANUFACTURER AND UL LISTED. THE PANELBOARD SHALL COMPLY WITH ALL APPLICABLE STANDARDS.
- WHERE PANEL AIC RATING INDICATE A SERIES RATING IS ALLOWABLE, THE CONTRACTOR SHALL USE A COMBINATION OF FUSES AND/OR CIRCUIT BREAKERS THAT ARE UL LISTED AS SERIES RATED FOR THE AIC INDICATED ON THE DRAWINGS. AS PART OF THE SUBMITTAL, THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT/ENGINEER PUBLISHED DATA FROM THE MANUFACTURER INDICATING THESE DEVICES ARE UL LISTED USE AS A SERIES RATED DEVICE. IF SUCH DATA CAN NOT BE OBTAINED TO THE ARCHITECT/ENGINEERS SATISFACTION, FULLY RATED DEVICES SHALL BE USED.

ELECTRICAL ABBREVIATIONS

A	AJ/P	IG	ISOLATED GROUND
AFF	ABOVE FINISHED FLOOR	KVA	KILOVOLT AMPS
AHU	AIR HANDLING UNIT	KW	KILOWATTS
AIC	AMPS INTERRUPTING CAPACITY	NEC	NATIONAL ELECTRICAL CODE
AL	ALUMINUM	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
ATS	AUTOMATIC TRANSFER SWITCH	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CB	CIRCUIT BREAKER	NFSS	NON-FUSED SAFETY SWITCH
CH	CABINET HEATER	P	POLE
CKT	CIRCUIT	PH	PHASE
CU	COPPER, COMPRESSOR UNIT	R	REMOVE
DN	DOWN	RE	RELOCATE
E	EXISTING	RTU	ROOF TOP UNIT
EC	EMPTY CONDUIT	UL	UNDERWRITERS LABORATORY
ER	EXISTING RELOCATED	UON	UNLESS OTHERWISE NOTED
ETR	EXISTING TO RELOCATE	V	VOLT
EF	EXHAUST FAN	VA	VOLTAMPS
FSS	FUSED SAFETY SWITCH	W	WATTS
FAAP	FIRE ALARM ANNUNCIATOR PANEL	WH	WATER HEATER
FACP	FIRE ALARM CONTROL PANEL	WP	WEATHER PROOF
GFI	GROUND FAULT INTERRUPTER	XFMR	TRANSFORMER
GND	GROUND	Z	IMPEDANCE
HP	HORSE POWER		

ELECTRICAL SYMBOLS

- ☐ FLUORESCENT OR INCANDESCENT LIGHTING FIXTURE, SEE LIGHTING FIXTURE SCHEDULE FOR TYPE AND MOUNTING.
- FLUORESCENT OR INCANDESCENT LIGHTING FIXTURE ON EMERGENCY POWER, SEE LIGHTING FIXTURE SCHEDULE FOR TYPE AND MOUNTING.
- ⚡ WALL MOUNTED DUAL HEAD BATTERY POWERED EMERGENCY LIGHTING FIXTURE, SEE LIGHTING FIXTURE SCHEDULE.
- ⊙ SINGLE FACE EXIT LIGHTING FIXTURE SEE LIGHTING FIXTURE SCHEDULE.
- ⚡ SINGLE POLE TOGGLE SWITCH - 20 AMP, 120 VOLT, M.H. 45" AFF, UNLESS NOTED OTHERWISE, LEVITON DECORA.
- ⚡ THREE WAY TOGGLE SWITCH - 20 AMP, 120 VOLT, M.H. 48" AFF, UNLESS NOTED OTHERWISE, LEVITON DECORA.
- ⊙ JUNCTION BOX, CEILING OR WALL MOUNTED.
- ⊕ DUPLEX GROUNDING TYPE RECEPTACLE - 20 AMP, 120 VOLT, NEMA 5-20R, M.H. 18" AFF, UNLESS NOTED OTHERWISE, LEVITON DECORA.
- ⊕ DOUBLE DUPLEX GROUNDING TYPE RECEPTACLE - 20 AMP, 120 VOLT, NEMA 5-20R, M.H. 18" AFF, UNLESS NOTED OTHERWISE, LEVITON DECORA.
- ⊕ DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER PROTECTION - 20 AMP, 120 VOLT, NEMA 5-20R, M.H. 42" AFF, UNLESS NOTED OTHERWISE, LEVITON DECORA.
- ⊕ HALF SWITCHED RECEPTACLE. CONNECT BOTTOM HALF OF OUTLET TO SWITCH. TYPICAL ALL BEDROOMS AND LIVING ROOMS, LEVITON DECORA.
- ⊕ SPECIAL GROUNDING TYPE RECEPTACLE - NEMA NUMBER OR TYPE AS SHOWN OR NOTED, M.H. 18" AFF, UNLESS NOTED OTHERWISE.
- ▶ TELEPHONE/DATA OUTLET - WALL MOUNTED, M.H. 18" AFF, UNLESS NOTED OTHERWISE, PROVIDE 1" EC FROM THE OUTLET TO 6" ABOVE FINISHED CEILING AND TERMINATE WITH 90° BEND AND INSULATED BUSHING.
- ▷ TELEPHONE
- ▶ CAT5 PHONE, DATA AND COAX CATV OUTLETS - 1E-5EA20-53W, INSIDE APARTMENTS
- ▶ PANELBOARD, 120/208 VOLT.
- ⊠ DISCONNECT SWITCH, AMP, VOLT, POLES AND FUSING AS NOTED ON DRAWING.
- ⊙ ELECTRIC MOTOR CONNECTION - HORSEPOWER AS NOTED.
- ⊙ POWER COMPANY METER, RATING AS INDICATED ON DRAWING.
- ⊙ FIRE ALARM MANUAL PULL STATION, M.H. 48" AFF.
- ⊙ FIRE ALARM AUDIO/VISUAL SIGNAL DEVICE, M.H. 96" AFF.
- ⊙ FIRE ALARM VISUAL ONLY SIGNAL DEVICE, M.H. 96" AFF.
- ⊙ FIRE ALARM BELL.
- ⊙ SMOKE DETECTOR.
- ⊙ DUCT SMOKE DETECTOR.
- #10 BRANCH CIRCUIT CONDUIT AND WIRING WITH A DEDICATED EQUIPMENT GROUND WIRE, CONCEALED IN WALL OR CEILING. CROSSMARKS AND NUMERALS INDICATE NUMBER AND SIZE OF CONDUCTORS, AND SHOWN ONLY WHERE REQUIRED FOR CLARITY.
- BRANCH CIRCUIT CONDUIT AND WIRING WITH A DEDICATED EQUIPMENT GROUND WIRE, CONCEALED UNDER GROUND OR UNDER SLAB. CROSSMARKS AND NUMERALS INDICATE NUMBER AND SIZE OF CONDUCTORS, AND SHOWN ONLY WHERE REQUIRED FOR CLARITY.
- 2 HOMERUN WIRING WITH A DEDICATED EQUIPMENT GROUND WIRE TO THE REFERENCED PANELBOARD. ARROW HEADS AND NUMERALS INDICATE THE CIRCUIT NUMBERS.
- ↑ INDICATES A SEPARATE GROUND WIRE SHALL BE PROVIDED.

GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION
 Electrical wiring must conform to the 2011 National Electric Code

ELECTRICAL ENGINEERING SECTION

GOVERNMENT OF THE DISTRICT OF COLUMBIA PERMIT OPERATIONS DIVISION

PLANS APPROVED Permit No. _____

These plans are conditionally approved in accordance with any corrections notes on the plans. The builder permit is license to construct in accordance with approved codes and does not waive any code requirements not noted during plan review. The contractor of permit does not prevent field inspections from making corrections to meet codes when issues are noted during inspections.

Signature: _____ Date: SEP 02 2015

452 NEWTON PLACE, NW

452 NEWTON PLACE, NW
 WASHINGTON, DC 20010
 LOT: 0089 SQUARE 3036

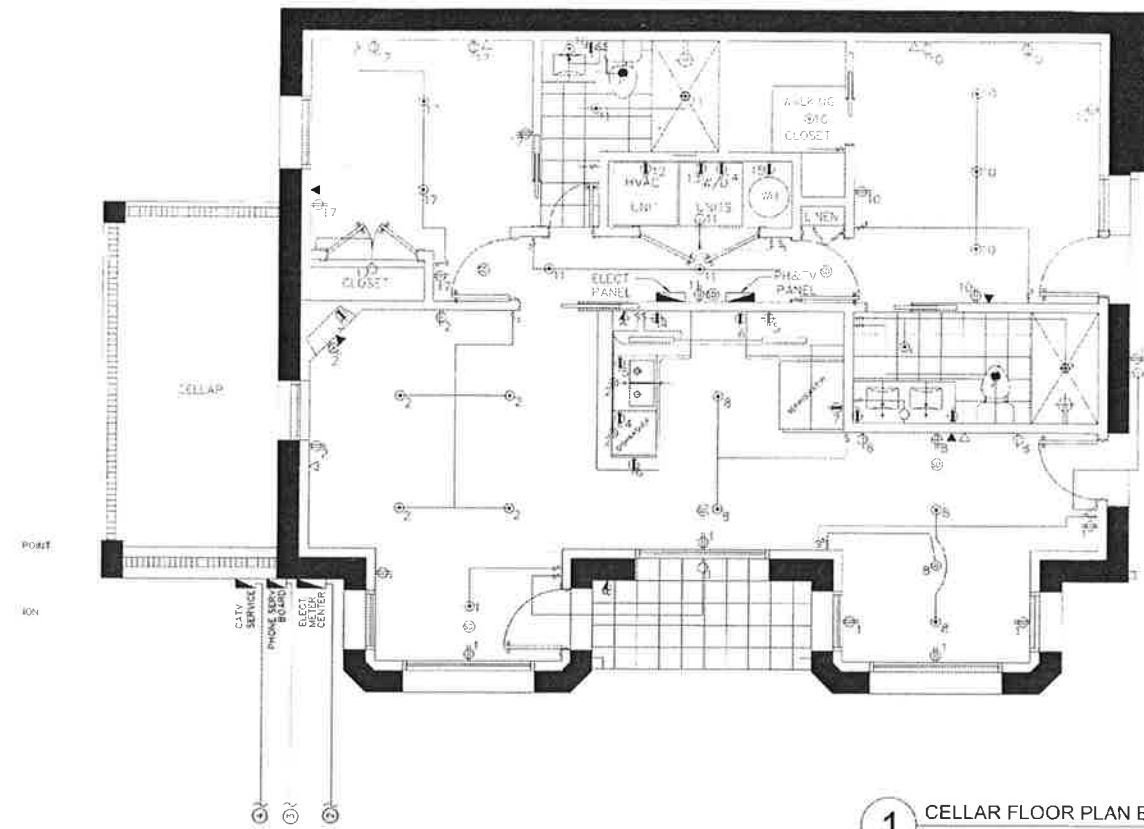
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SCALE: AS NOTED

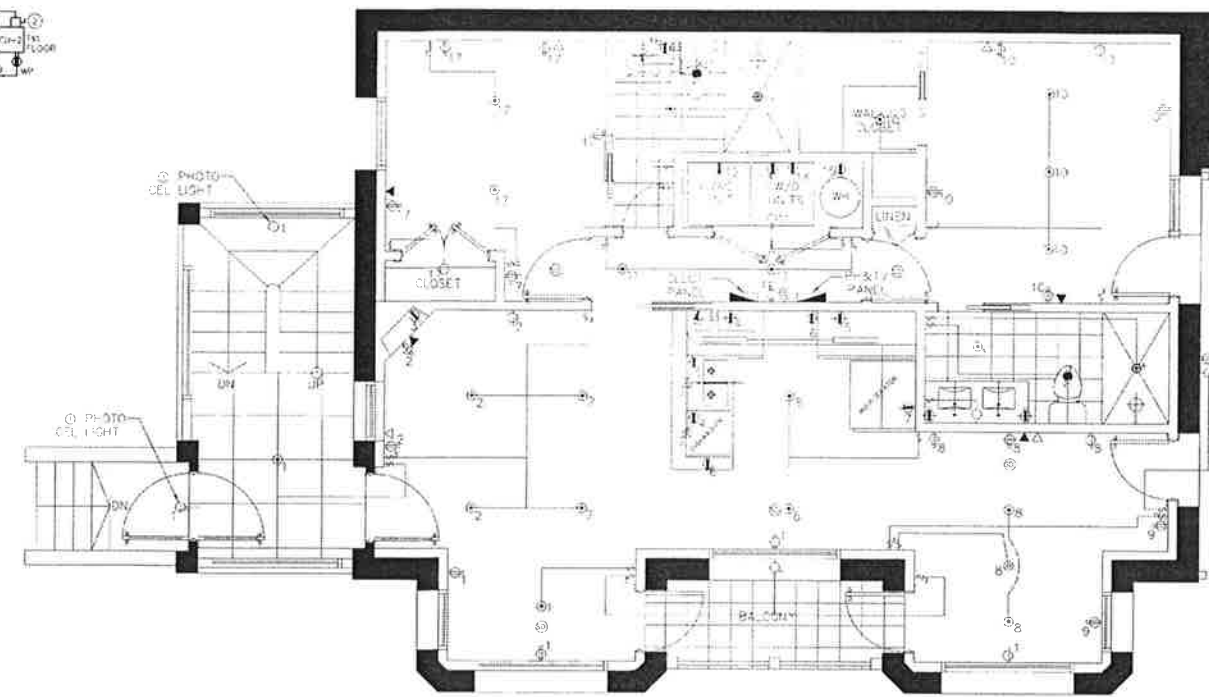
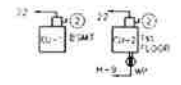
DATE: 02/05/2015

PROJECT NUMBER: 452 NEWTON

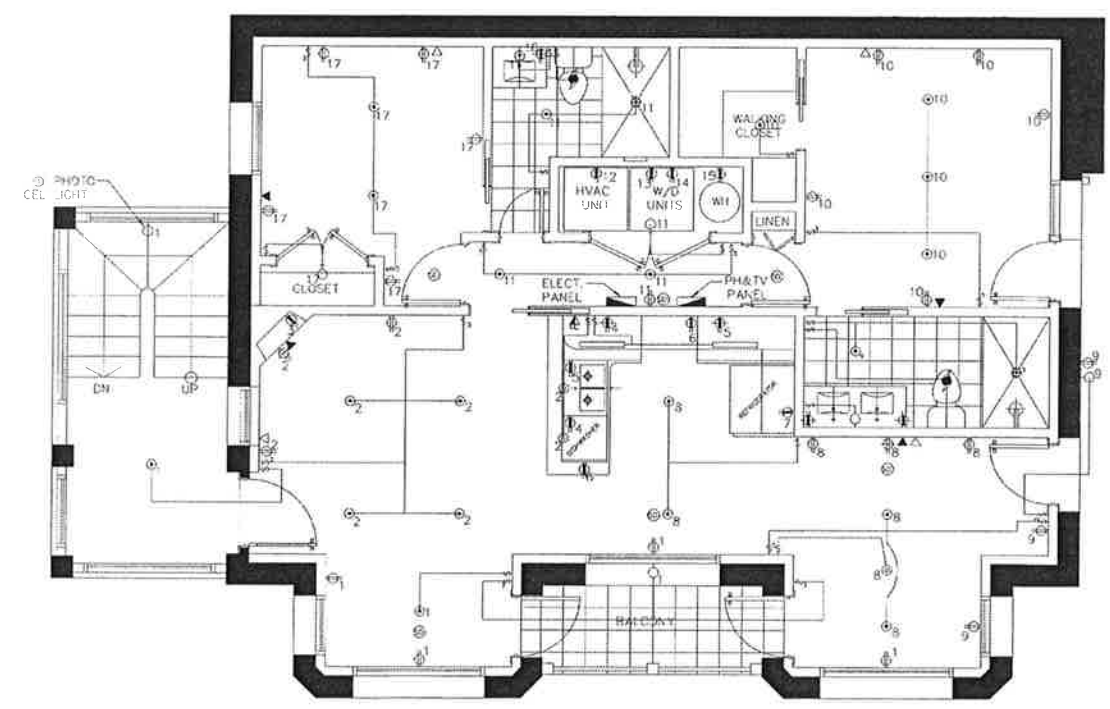
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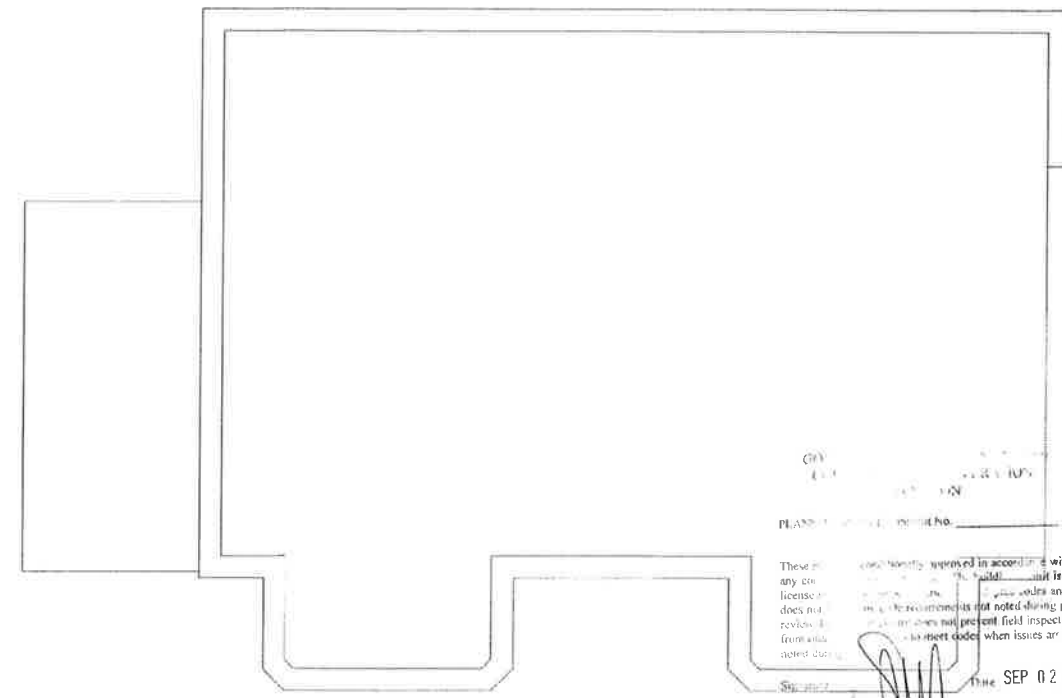
1 CELLAR FLOOR PLAN ELECTRICAL
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



2 1ST FLOOR PLAN ELECTRICAL
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



3 2ND FLOOR PLAN ELECTRICAL
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



4 ROOF PLAN ELECTRICAL
SCALE: 1/4" = 1'-0" 24X36 LAYOUT

PLANS APPROVED BY THE BOARD OF ELECTRICAL ENGINEERS

These plans were prepared in accordance with the National Electrical Code and the District of Columbia Electrical Code. The undersigned does not assume any liability for any errors or omissions that may be noted during plan review. The undersigned does not prevent field inspectors from noting any violations that do not meet code when issues are noted during the review process.

SEP 02 2015

452 NEWTON PLACE, NW

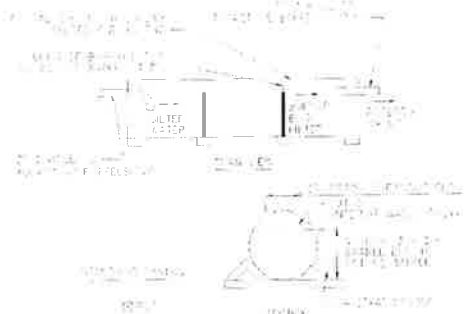
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WASHINGTON, DC 20010
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SCALE: AS NOTED
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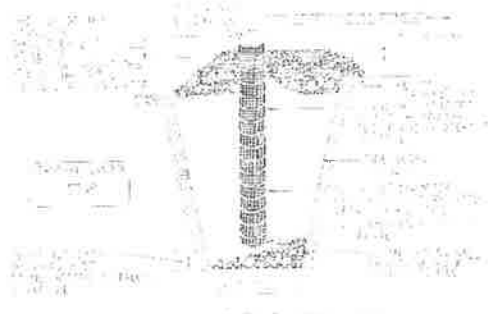
E0101

PORTABLE SPAYMENT TANK DETAIL



1. THE TANK SHALL BE PORTABLE AND EASY TO MOVE.
2. THE TANK SHALL BE CAPABLE OF HOLDING AT LEAST 100 GALLONS OF LIQUID.
3. THE TANK SHALL BE CAPABLE OF SPRAYING AT A PRESSURE OF AT LEAST 100 PSI.
4. THE TANK SHALL BE CAPABLE OF SPRAYING AT A RATE OF AT LEAST 1 GPM.
5. THE TANK SHALL BE CAPABLE OF SPRAYING AT A DISTANCE OF AT LEAST 10 FEET.

SILT FENCE DETAIL



1. THE SILT FENCE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF FILTERING OUT SILT AND OTHER SOLIDS.
2. THE SILT FENCE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 100 PSI OF PRESSURE.
3. THE SILT FENCE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 100 GPM OF FLOW.
4. THE SILT FENCE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 10 FEET OF HEAD.
5. THE SILT FENCE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 10 FEET OF DEPTH.

S SAW BUILT DIKE DETAIL



1. THE SAW BUILT DIKE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF FILTERING OUT SILT AND OTHER SOLIDS.
2. THE SAW BUILT DIKE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 100 PSI OF PRESSURE.
3. THE SAW BUILT DIKE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 100 GPM OF FLOW.
4. THE SAW BUILT DIKE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 10 FEET OF HEAD.
5. THE SAW BUILT DIKE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 10 FEET OF DEPTH.

STABILIZATION AND SPECIFICATIONS FOR EROSION CONTROL

1. THE STABILIZATION SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF FILTERING OUT SILT AND OTHER SOLIDS.

2. THE STABILIZATION SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 100 PSI OF PRESSURE.

3. THE STABILIZATION SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 100 GPM OF FLOW.

4. THE STABILIZATION SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 10 FEET OF HEAD.

5. THE STABILIZATION SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 10 FEET OF DEPTH.

STANDARD SYMBOLS



SILT FENCE

SLOPE & EMBANKMENT	HEIGHT	LENGTH
1:1	12" TO 18"	UNLIMITED
1.5:1	12" TO 18"	1500 FT.
2:1	12" TO 18"	200 FT.
3:1	12" TO 18"	200 FT.
4:1	12" TO 18"	200 FT.

NOTE: 1. SILT FENCES SHALL BE USED ON ALL SLOPES AND EMBANKMENTS EXCEPT WHERE SPECIFIC REQUIREMENTS ARE SHOWN OTHERWISE.

2. SILT FENCES SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE REPAIRED IMMEDIATELY UPON FAILURE.

SILT FENCE DETAIL



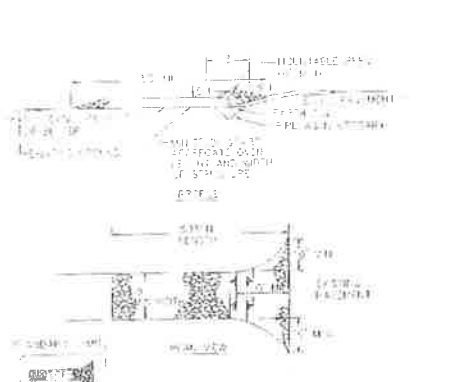
1. THE SILT FENCE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF FILTERING OUT SILT AND OTHER SOLIDS.

2. THE SILT FENCE SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 100 PSI OF PRESSURE.

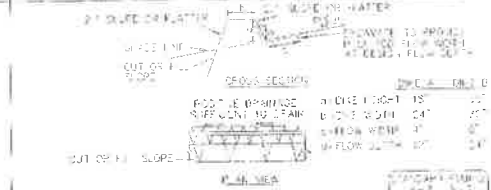
SCE CONSTRUCTION SPECIFICATION

1. LENGTH - MIN. OF 10' PER 1" OF SLOPE FOR SINGLE SLOPE.
2. WIDTH - 10' MINIMUM, SHOULD BE FLARED AT THE ENDING END TO PROVIDE A TURNING RADIUS.
3. CONTENTS - PARTS OF A SILT FENCE SHALL BE PLACED AT THE END OF THE FENCE TO PROVIDE A TURNING RADIUS.
4. STAKE - CRUSHED ROCK OR 2" TO 3" UP POLYMER OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT THE END OF THE FENCE AT THE END OF THE FENCE.
5. SURFACE WATER - ALL SURFACE WATER SHALL BE COLLECTED AND CONVEYED TO THE NEAREST DRAINAGE POINT.
6. EROSION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT EVERY POINT WHERE CONSTRUCTION ENTRANCES ARE REQUIRED TO CROSS A ROAD OR DRIVE.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES AND SHALL BE REPAIRED IMMEDIATELY UPON FAILURE.
8. INSPECTION - THE ENTRANCE SHALL BE INSPECTED AT ALL TIMES AND SHALL BE REPAIRED IMMEDIATELY UPON FAILURE.

STABILIZED CONSTRUCTION ENTRANCE DETAIL



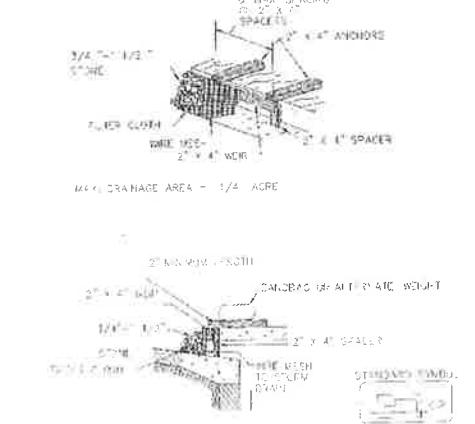
DETAIL 1 - EARTH DIKE



1. An temporary earth dike shall have a minimum of 12" of compacted earth on the upstream side.
2. Runoff diverted from a stabilized dike shall be conveyed to a permanent drainage system.
3. Runoff diverted from a stabilized dike shall be conveyed to a permanent drainage system.
4. All trees, brush, stumps, obstructions, and other debris shall be removed and disposed of in an area that will not interfere with the proper functioning of the dike.
5. The dike shall be inspected and repaired as needed to maintain its effectiveness.
6. The dike shall be inspected and repaired as needed to maintain its effectiveness.
7. All earth dikes shall be inspected and repaired as needed to maintain its effectiveness.
8. The dike shall be inspected and repaired as needed to maintain its effectiveness.

CURB INLET PROTECTION

(COG OR COS INLETS)



1. THE CURB INLET PROTECTION SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF FILTERING OUT SILT AND OTHER SOLIDS.

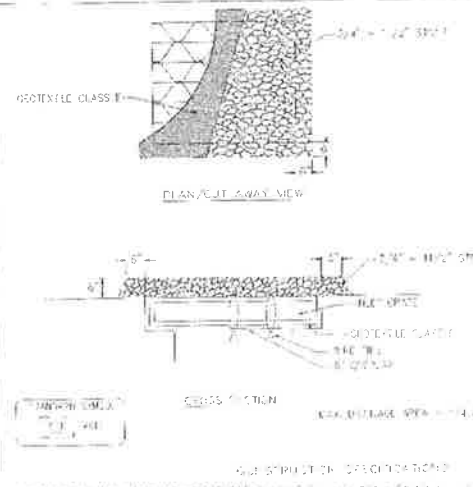
2. THE CURB INLET PROTECTION SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 100 PSI OF PRESSURE.

CURB INLET PROTECTION NOTES

CONSTRUCTION SPECIFICATIONS

1. ATTACH A CONTINUOUS PIECE OF WIRE MESH 30" HIGH BY 12" WIDE TO THE CURB INLET PROTECTION.
2. PLACE A CONTINUOUS PIECE OF CURB INLET PROTECTION FABRIC OVER THE WIRE MESH AND SECURELY ATACH IT TO THE WIRE MESH.
3. SECURELY NAIL THE WIRE MESH TO THE CURB INLET PROTECTION.
4. PLACE THE ASSEMBLY AGAINST THE CURB INLET PROTECTION AND NAIL IT TO THE CURB INLET PROTECTION.
5. THE ASSEMBLY SHALL BE FLARED AT THE END OF THE CURB INLET PROTECTION.
6. FORM THE CURB INLET PROTECTION AND SECURELY ATTACH IT TO THE CURB INLET PROTECTION.
7. THE CURB INLET PROTECTION SHALL BE INSPECTED AND REPAIRED IMMEDIATELY UPON FAILURE.
8. THE CURB INLET PROTECTION SHALL BE INSPECTED AND REPAIRED IMMEDIATELY UPON FAILURE.

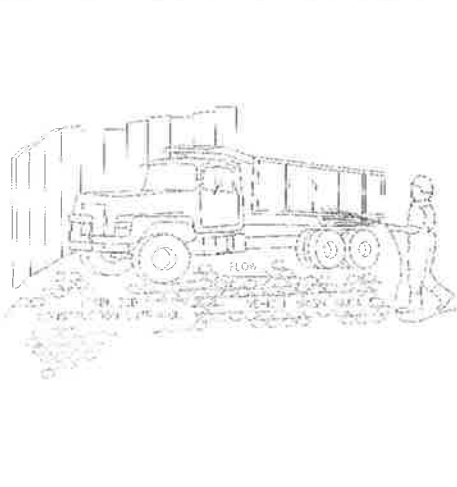
DETAIL 235 - AT GRADE INLET PROTECTION



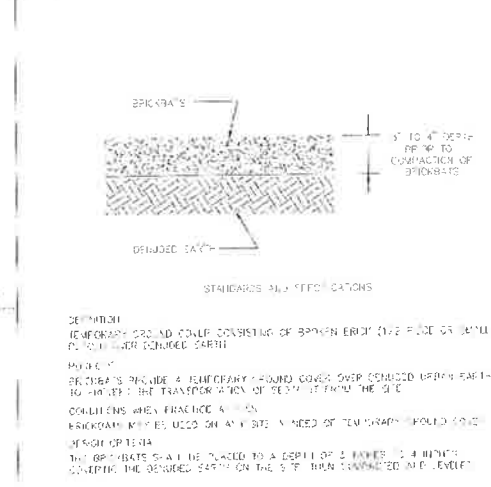
1. THE AT-GRADE INLET PROTECTION SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF FILTERING OUT SILT AND OTHER SOLIDS.

2. THE AT-GRADE INLET PROTECTION SHALL BE MADE OF A FABRIC THAT IS CAPABLE OF WITHSTANDING A MINIMUM OF 100 PSI OF PRESSURE.

VEHICLE WASH DETAIL



BRICKBAT GROUND COVER



1. THE BRICKBAT GROUND COVER SHALL BE MADE OF BRICKBATS THAT ARE CAPABLE OF WITHSTANDING A MINIMUM OF 100 PSI OF PRESSURE.

2. THE BRICKBAT GROUND COVER SHALL BE MADE OF BRICKBATS THAT ARE CAPABLE OF WITHSTANDING A MINIMUM OF 100 GPM OF FLOW.

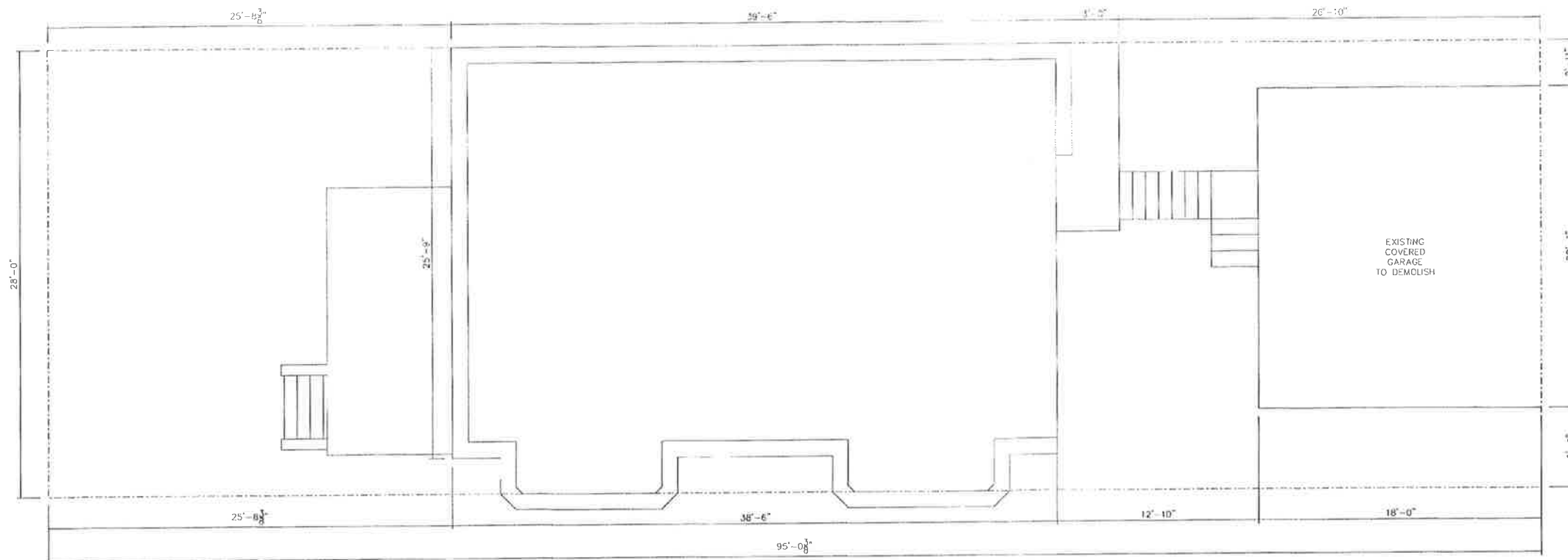
452 NEWTON PLACE, NW

452 NEWTON PLACE, NW
WASHINGTON, DC 20010
LOT:0089 SQUARE 3036

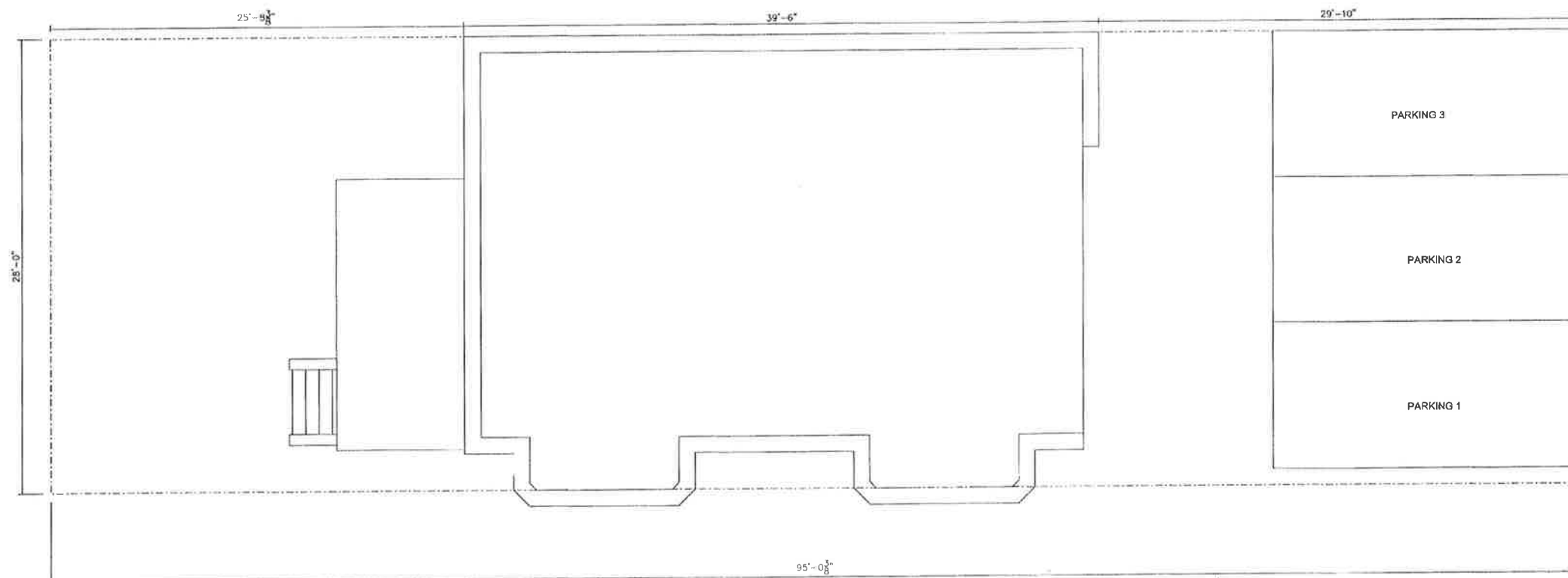


SCALE: AS NOTED
DATE: 02/05/2015
PROJECT NUMBER: 452 NEWTON

DDOE
0001



1 EXISTING SITE/ROOF PLAN
SCALE: 1/4" = 1'-0" 24X36 LAYOUT



2 PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0" 24X36 LAYOUT

452 NEWTON PLACE, NW

452 NEWTON PLACE, NW
WASHINGTON, DC 20010



SCALE: AS NOTED
DATE: 02/05/20
PROJECT NUMBER: 452 N

A0100

Exhibit G



Department of Consumer and Regulatory Affairs

Permit Operations Division

1100 4th Street SW

Washington DC 20024

Tel. (202) 442 - 4589

Fax (202) 442 - 4862



B

BUILDING PERMIT

THIS PERMIT MUST ALWAYS BE CONSPICUOUSLY DISPLAYED AT THE ADDRESS OF WORK UNTIL WORK IS COMPLETED AND APPROVED

Issue Date: 10/22/2015

PERMIT NO. **B1500315**

Expiration Date: 10/22/2016

Address of Project: 452 NEWTON PL NW	Zone: R-4	Ward: 1	Square: 3036	Suffix:	Lot: 0089
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Description Of Work:
USE CHANGE FROM TWO FAMILY FLAT TO THREE UNIT CONDO BUILDING. ALTERATION OF EXISTING FRONTY PORCH TO ACCOMODATE 2ND FLOOR ACCESS.

Permission Is Hereby Granted To: Estella M Rosales	Owner Address: 452 NEWTON PL NW WASHINGTON, DC 20010-1716	PERMIT FEE: \$1,204.50
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Permit Type: Addition Alteration Repair	Existing Use: Two-Family Flat - R-3	Proposed Use: Multifamily (> 2 units)	Plans: Yes
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Agent Name: Samnang	Agent Address: 20024	Existing Dwell Units: 2	Proposed Dwell Units: 3	No. of Stories: 2	Floor(s) Involved: All
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Conditions/ Restrictions:

(This area is blank in the original document)

This Permit Expires if no Construction is Started Within 1 Year or if the Inspection is Over 1 Year.

All Construction Done According To The Current Building Codes And Zoning Regulations;

As a condition precedent to the issuance of this permit, the owner agrees to conform with all conditions set forth herein, and to perform the work authorized hereby in accordance with the approved application and plans on file with the District Government and in accordance with all applicable laws and regulations of the District of Columbia. The District of Columbia has the right to enter upon the property and to inspect all work authorized by this permit and to require any change in construction which may be necessary to ensure compliance with the permit and with all the applicable regulations of the District of Columbia. Work authorized under this Permit must start within one(1) year of the date appearing on this permit or the permit is automatically void. If work is started, any application for partial refund must be made within six months of the date appearing on this permit.

Lead Paint Abatement
Whenever any such work related to this Permit could result in the disturbance of lead based paint, the permit holder shall abide by all applicable paint activities provisions of the 'Lead Hazard Prevention and Elimination Act of 2008' and the EPA 'Lead Renovation, Repair and Painting rule' regarding lead-based include adherence to lead-safe work practices. For more information, go to <http://ddoe.dc.gov>, Lead and Healthy Housing.

Director: Melinda Bolling	Permit Clerk: Tezrah Thomas
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TO REPORT WASTE, FRAUD OR ABUSE BY ANY DC GOVERNMENT OFFICIAL, CALL THE DC INSPECTOR GENERAL AT 1-800-521-1899
FOR CONSTRUCTION INSPECTION INQUIRIES CALL (202) 442-9557
TO SCHEDULE INSPECTIONS PLEASE CALL (202) 442-9557.

Exhibit H

GOVERNMENT OF THE DISTRICT OF COLUMBIA



DEPARTMENT OF CONSUMER & REGULATORY AFFAIRS
 Inspections & Compliance Administration
 1100 4th Street, SW – Fourth Floor
 Washington, DC 20024

STOP WORK ORDER

452 Newton Pl NW

(Address)

You are hereby ordered to IMMEDIATELY STOP all work at this building or structure.

- You are performing work that violates the Construction Code:
- You are performing work in an unsafe and dangerous manner:

Code Section (s)	Violation (s)	What You Must Do to Correct the Violation (s)
BA DCMR 105.6	REVOCATION OF PERMIT	OBTAIN CORRECT PERMIT BY CONTACTING ZONING AND BUILDING DEPARTMENT

Do NOT work at this address until you:

- Correct the violation(s)
- Pay the fine amount
- Obtain and post the required permit(s)
- Electrical Plumbing Construction Boiler Fire Elevator Other _____
- Receive approval from the Code Official to remove the Stop Work Order.

WARNING

Unauthorized removal of a posted Stop Work Order is a Construction Code violation, subject to penalties and injunctive relief under DC Official Code §6-1406 and §6-1407 and 12A DCMR §114.3.

A Stop Work Order for illegal construction under 12A DCMR §113.7 and §114.6 requires you to stop all work at the building or structure, whether or not the work requires building permits.

It is a Stop Work Order violation for an owner or agent to enter the site for any reason without the Code Official's approval. (The Building Official may allow temporary access to ensure the property's security and safety, under 12A DCMR §114.6.1.)

Anyone who continues any work in or around a structure posted with a Stop Work Order – except to do work that the Building Official approves to remove a violation or unsafe condition – is subject to penalties and injunctive relief under DC Official Code §6-1406 and 12A DCMR §105.8 and 12A DCMR §114.10.

RIGHT TO APPEAL

You have the right to appeal this Order to the Reviewing Official (Rabbiah Sabbakhan, Chief Building Code Official, Inspections and Compliance Administration) within 15 days of its posting, under 12A DCMR §114.11.1. You may call the Reviewing Official at (202) 442-7867. You may obtain a Stop Work Order Appeal Request Form at the address above or at dcra.dc.gov. If the Reviewing Official denies your appeal or takes no action within 10 working days of receiving it, you may appeal to the DC Office of Administrative Hearings (OAH). You may deliver your written request for a hearing to OAH at 441 4th Street, NW, Suite 1040S, Washington, DC 20002 or mail it to PO Box 77718, Washington, DC 20013-8713.

Signature of Issuing Official [Signature] Date 12-12-15 Time 3:17 pm

Badge Number 1005 Phone Number 202-442-7867

Exhibit I

September 10, 2018

via IZIS

Board of Zoning Adjustment
441 4th Street, NW
Suite 200S
Washington, DC 20001

Re: Application No. 19712; 452 Newton Place, NW.

Dear Members of the Board:

I have been a real estate agent in the DC Area for 17 years. I worked with the Applicant in the above-referenced case to sell the upper unit at 452 Newton Place, NW. That unit sold for \$620,000 in April 2017. Before the Applicant hired me, a previous real estate agent attempted to sell the lower unit and listed it for \$899,900, then \$872,900, then \$849,900 and lastly \$799,900. The property was on the market for 84 days before being taken off the market.

The Applicant is now faced with a scenario where they must sell the unit as-is or renovate the unit to make it more marketable. Currently, there are no comps for the existing four-bedroom, four-bathroom layout. The unit is difficult to market because it has two kitchens and the bedrooms are on two different floors. With a unit of this size, it is typical that a family would be the potential buyer. However, although the size is ideal, the floor plan is not. Typically, parents do not like to be on a different floor than their children. Thus, homes where the bedrooms are all on one floor, specifically the upper floor tend to be more marketable. Although there are no four-bedroom comps in the area, I estimate the lower unit could sell in its current condition for \$635,000. Market conditions have changed substantially, with an increase in inventory and an increase in interest rates, demand is lower than when these units were originally on the market. My experience tells me that the prospective buyer would most likely use the lower level as an income-producing rental property if they are able to obtain the necessary licensing from the District.

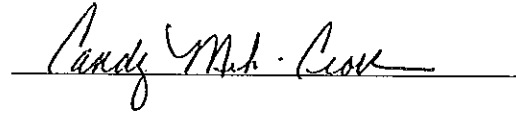
The other option would be for the Applicant to renovate the unit and change its current configuration. It may be more marketable if the bedrooms were on the lowest level and the living spaces were expanded on the first floor. The lower level kitchen would need to be removed and one bedroom on the main floor could remain. This is still not an ideal floor plan because of the lack of light on the lower level. However, it is more marketable than the current floor plan. If this reconfiguration were to occur, it would appeal to a wider range of buyers. Other three-bedroom units in Columbia Heights (20010) sell for \$675,000, but since the bedrooms would be in the basement and receive less light, it would likely sell for slightly less, at \$600,000. Please note that all these sales prices are estimates and actual prices would vary depending on the market conditions and the actual square footage of the units.

Had the Applicant had the option to start over knowing that they could only do two units on three floors, the most marketable and standard approach would be to create a two-story unit with living space on the first floor and bedrooms on the second story, and a separate one-bedroom basement unit. In this scenario, the upper unit could sell for \$760,000 and the lower

unit could sell for \$500,000. Again, the actual prices would be determined by square footage of each unit and market conditions.

Were the Applicant to obtain BZA Approval, it could split the larger unit into two units and sell the first-floor unit for approximately \$550,000 and the basement unit for \$500,000.

Sincerely,

A handwritten signature in cursive script, reading "Candy Miles-Crocker", is written over a horizontal line.

Candy Miles-Crocker, GRI
Associate Broker
Long and Foster Real Estate

Exhibit J

2-Unit Scenario

Purchase Price	(\$680,000)
Construction Costs	(\$410,000)
Sale Price- Upper Unit	\$760,000
Sale Price- Lower Unit	\$500,000
TOTAL	\$170,000

BZA Denied

Purchase Price	(\$680,000)
Construction Costs	(\$525,000)
Sales Price - Upper Unit	\$620,000
Sales Price- Lower 4BR Unit	\$635,000
TOTAL	\$50,000

BZA Approved

Purchase Price	(\$680,000)
Construction Costs	(\$525,000)
Sales Price- Upper Unit	\$620,000
Sales Price- 1st floor	\$550,000
Sales Price- basement	\$500,000
TOTAL	\$465,000

Exhibit K

452 Newton Place, NW, Washington, DC
 Master Budget
 Kaim Development Corp., LLC/Serhat Akin

2 - Unit Budget

Description	Budget
Soft Costs	
Permits & Fees	\$4,000
Architectural & Engineering	\$18,000
Subtotal Soft Costs	\$22,000
Hard Costs	
Site Work	\$500
Demolition	\$15,000
Excavation	\$10,500
Concrete	\$6,500
Waterproofing	\$5,000
Framing Materials	\$30,500
Framing Labor	\$27,000
Siding	\$6,500
Sheet Metal	\$3,200
Plumbing	\$19,700
Electrical	\$25,200
Heating & Cooling	\$36,800
Low Voltage, Audio, Video, Central Vac	\$2,600
Roofing Roof Deck	\$9,000
Masonry	\$10,300
Fireplace	\$2,800
Exterior Windows & Doors	\$20,300
Painting	\$19,300
Drywall	\$10,500
Stucco	\$1,700
Flooring	\$31,000
Millwork	\$11,400
Finish Carpentry	\$20,300
Hardware	\$3,500
Countertops	\$14,000
Cabinets & Closets	\$10,800
Appliances	\$6,600
Construction Support	\$1,000
Landscape & Irrigation	\$500
Exterior Structures	\$16,000
Contingencies	\$10,000
Subtotal Hard Costs	\$388,000
Total Construction Costs	\$410,000

3 - Unit Budget

Description	Budget
Soft Costs	
Permits & Fees	\$4,000
Architectural & Engineering	\$18,000
Subtotal Soft Costs	\$22,000
Hard Costs	
Site Work	\$500
Demolition	\$15,000
Excavation	\$10,500
Concrete	\$6,500
Waterproofing	\$5,000
Framing Materials	\$40,700
Framing Labor	\$31,500
Siding	\$6,500
Sheet Metal	\$3,200
Plumbing	\$26,200
Electrical	\$37,600
Heating & Cooling	\$38,900
Low Voltage, Audio, Video, Central Vac	\$3,600
Roofing Roof Deck	\$9,000
Masonry	\$10,300
Fireplace	\$4,500
Exterior Windows & Doors	\$20,300
Painting	\$24,500
Drywall	\$18,900
Stucco	\$2,600
Flooring	\$38,000
Millwork	\$29,400
Finish Carpentry	\$28,800
Hardware	\$4,800
Countertops	\$18,000
Cabinets & Closets	\$14,000
Appliances	\$16,300
Construction Support	\$2,000
Landscape & Irrigation	\$4,900
Exterior Structures	\$21,000
Contingencies	\$10,000
Subtotal Hard Costs	\$503,000
Total Construction Costs	\$525,000

Exhibit L

452 Newton Place, NW, Washington, DC
Renovation to Make Lower Unit More Marketable
Kaim Development Corp., LLC/Serhat Akin

Description	Budget
Soft Costs	
Permits & Fees	\$4,000
Architectural & Engineering	\$6,000
Subtotal Soft Costs	\$10,000
Hard Costs	
Site Work	\$500
Demolition	\$5,000
Excavation	\$0
Concrete	\$0
Waterproofing	\$2,500
Framing Materials	\$6,500
Framing Labor	\$10,000
Siding	\$0
Sheet Metal	\$0
Plumbing	\$7,500
Electrical	\$8,800
Heating & Cooling	\$1,800
Low Voltage, Audio, Video, Central Vac	\$1,000
Roofing Roof Deck	\$0
Masonry	\$0
Fireplace	\$0
Exterior Windows & Doors	\$0
Painting	\$9,500
Drywall	\$8,500
Stucco	\$0
Flooring	\$15,000
Millwork	\$6,000
Finish Carpentry	\$10,900
Hardware	\$1,500
Countertops	\$14,000
Cabinets & Closets	\$5,000
Appliances	\$0
Construction Support	\$1,000
Landscape & Irrigation	\$0
Exterior Structures	\$0
Contingencies	\$5,000
Subtotal Hard Costs	\$120,000
Total Construction Costs	\$120,000